

Harbury Regulation 16 Submission Neighbourhood Development Plan Consultation Statement

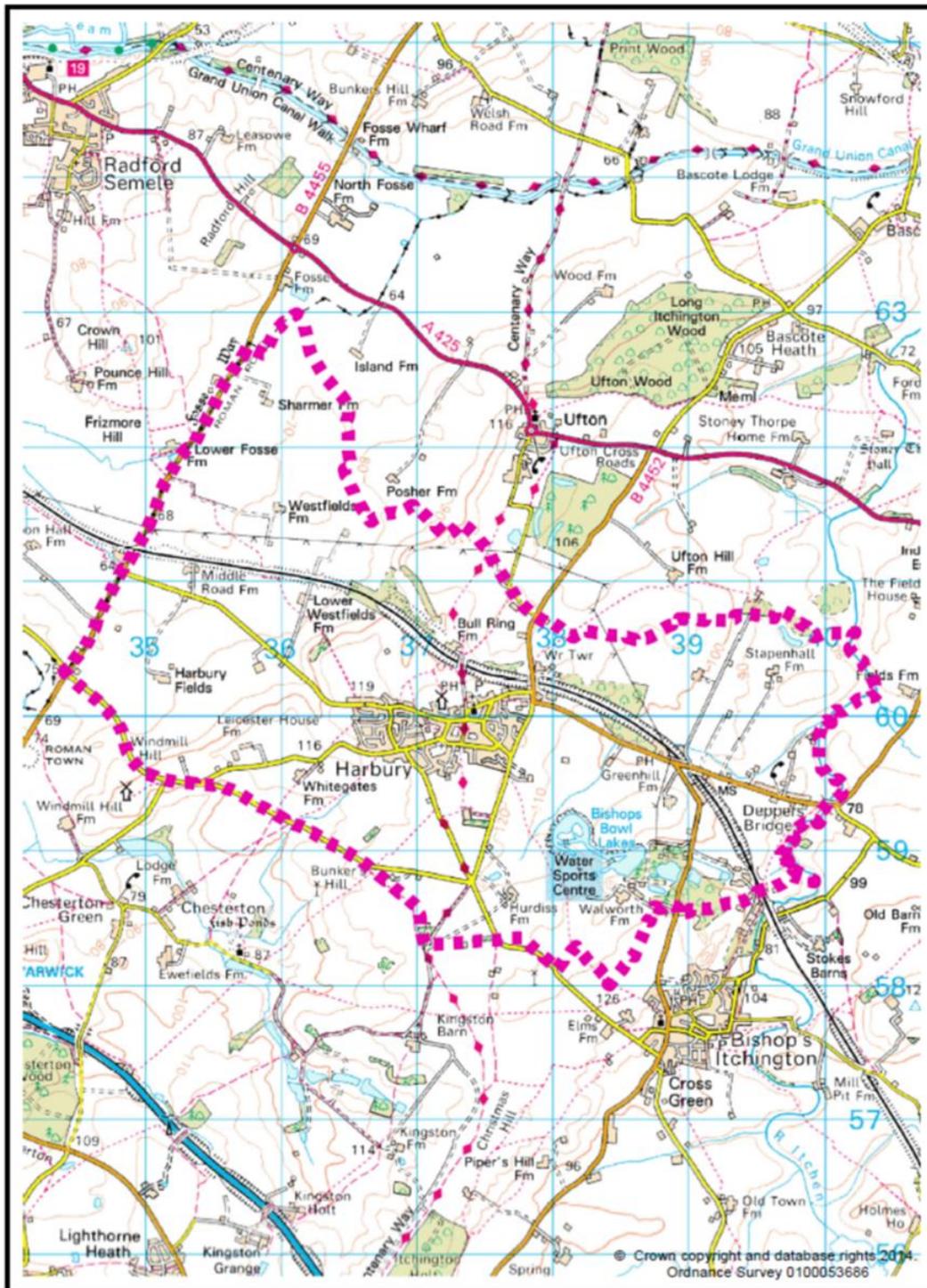


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Figure 1 – Harbury Neighbourhood Development Plan Area [produced on behalf of the Parish Council by Stratford on Avon District Council]



1.0 Introduction and Background

1.1 This Consultation Statement has been prepared to accompany the Regulation 16 Submission Draft of the Harbury Neighbourhood Development Plan. This Consultation Statement should be read alongside the Basic Condition Statement and Environmental Report.

1.2 This Consultation Statement has been prepared in accordance with The Neighbourhood Planning (General) Regulations 2012 (SI No. 637) Part 5 Paragraph 15 (2)¹ which defines a “consultation statement” as *a document which:*

(a) contains details of the persons and bodies who were consulted about the proposed neighbourhood development plan;

(b) explains how they were consulted;

(c) summarises the main issues and concerns raised by the persons consulted; and

(d) describes how these issues and concerns have been considered and, where relevant, addressed in the proposed neighbourhood development plan.

1.3 The Harbury Neighbourhood Development Plan (NDP) has been prepared in response to the Localism Act 2011, which gives parish councils and other relevant bodies, new powers to prepare statutory Neighbourhood Plans to help guide development in their local areas. These powers give local people the opportunity to shape new development, as planning applications are determined in accordance with national planning policy and the local development plan, and neighbourhood plans form part of this Framework. Other new powers include Community Right to Build Orders whereby local communities have the ability to grant planning permission for new buildings.

1.4 In 2013, Harbury Parish Council, as a qualifying body, made the decision to prepare a Neighbourhood Plan for the Parish. The area was formally designated by Stratford-on-Avon Council on 8th September 2014² and is shown in Figure 1. The designation application is contained in Appendix 1, this was accompanied by Figure 1.

¹ <http://www.legislation.gov.uk/uksi/2012/637/contents/made>

² <https://democracy.stratford.gov.uk/ieDecisionDetails.aspx?AllId=24417>

2.0 Draft Neighbourhood Plan Development and Informal Public Consultation

2.1 The Harbury Neighbourhood Development Plan has been informed by a significant amount of community consultation and engagement. Table 1 presents a summary of this work that is then set in more detail in this Consultation Statement.

Table 1. Neighbourhood Plan Development Timeline

Date	Action
October 2013	Preliminary NDP survey. 1000 questionnaires delivered: 250 returned.
31 st October 2013	Questionnaire results analysed and collated.
16 th November 2013	Open Afternoon in the Village Hall - with display of survey results, photographs and community group stands.
20 th February 2014	1st NDP meeting: 11 out of 32 volunteers attended.
18 th March 2014	2nd NDP meeting. Harbury Society attended and stressed the value and importance of the existing Harbury Village Design Statement.
22 nd April 2014	3rd NDP meeting. Application to Stratford-on-Avon District Council for neighbourhood area designation.
14 th May 2014	4th NDP meeting: discussed ways to make NDP high profile.
8 th June 2014	Community consultation - CARNIVAL
26 th June 2014	5th NDP meeting: feedback from carnival & questionnaires.
12 th September 2014	Parish Council meet with Gladmans about their proposed development.
16 th September 2014	6 th NDP meeting: Stratford-on-Avon District Council approved Harbury's designated area. Feedback on Gladman meeting, Village with a Vision & Prince's Trust. Joined 'Harbury News' on Facebook.
13 th January 2015	7th NDP meeting: moving forward in 2015. Steering Group now has a regular 15 members. Harbury NDP website planned.

17 th February 2015	8th NDP meeting: Considered other NDPs & possible use of consultants. The chairman of the Harbury Energy Initiative produced the first draft of a "Vision Statement".
24 th of March 2015	Vision Statement agreed.
18th-28 th April 2015	Young people of the parish consulted with help from Southam College and Harbury School. Letters and emails sent to farms and businesses in the parish.
29 th April 2015	10th NDP meeting: Looking at objectives and policies. Preparation for the Open Afternoon.
23 rd May 2015	Community Consultation - Open Afternoon at Village Hall for 'resident suggestions'. Groups, farms, businesses all invited.
22 nd of July 2015	11 th NDP meeting with Kirkwells to discuss first discussion draft NDP.
4 th of November 2015	Steering Group meet to discuss draft NDP with Kirkwells.
7 th December 2015 to 15 th January 2016	Informal consultation on draft plan.
February-May 2016	Consideration of informal consultation responses.
August- September 2016	First Regulation 14 consultation
December 2016	Parish Council considers Regulation 14 consultation responses and decides to revise the plan and repeat the Regulation 14 consultation
6th February 2017 to 20th March 2017	Second Regulation 14 consultation.

2.2 The initial consultation activity on the Harbury NDP began in October 2013 with the delivery of questionnaires, *circa* 1,000, to all households in the neighbourhood area. The questionnaire generated a 25% response return: 252 questionnaires returned/collected out of 1,000 delivered. The questionnaire asked the following:

What their families/households liked about living in the village?

What parts of Harbury would they like to see preserved/protected?

What housing provision would they favour when new development happens?

Their suggested areas in the parish to be developed for small businesses?

What sort of restrictions should there be on development?

What their families disliked about living in the village?

Would they help in preparing this Neighbourhood Plan as volunteers needed?

The results are summarised in Appendix 2.

- 2.3 The results from the completed questionnaires were then analysed. The results were published and used as the centre piece at an Open Afternoon in the Village Hall - with display of survey results, photographs and community group stands.



i Open Afternoon Consultation

- 2.4 The Open Afternoon was open to all residents of Harbury and Deppers Bridge and stakeholders and was publicised in the local *Harbury and Ladbroke News*, by posters, on noticeboards and on the Parish Council web site. 102 people attended the event in Harbury Village Hall. The Open Afternoon gauged the level of support for a Neighbourhood Development Plan and informed residents about the results of the questionnaire survey.
- 2.5 A large map of the parish was on display and people invited to place pins to state where their preferred development should or should not take place. A variety of information sheets explaining the importance of a Neighbourhood Development Plan were there for residents to view, and small maps of the parish to take home. There were displays by the St Francis Group, the developers for the former Cement Works Site (titled Harbury Estate) situated between

Harbury and Bishop's Itchington. Information was also provided by the following groups as they had stands in the hall: Village With A Vision: their plans over the past years to provide village accommodation for elderly residents; Harbury Energy Initiative; Harbury Heritage; and the Harbury Society.

- 2.6 The first meeting of the NDP Steering Committee was held in the Farley Room in Harbury Village Hall in February 2104. The evening was open to all residents of Harbury and Deppers Bridge and anyone who had expressed an interest through the questionnaires or the Open Afternoon. The meeting was advertised on large posters displayed on the Village Notice Boards, a poster was put up in Deppers Bridge and an article in the *Harbury & Ladbroke News* explaining what the meeting hoped to achieve. This was the first public meeting when volunteers (originally 32 of them) were asked to join the Committee and brainstorm their personal ideas for the Harbury Neighbourhood Development Plan. At the meeting 11 of the invited volunteers were present. Meetings of the Committee were then held monthly.
- 2.7 In June 2014 the initial work of the Committee was shared with local people at the Harbury Carnival This was an opportunity for parishioners to see what the Harbury Neighbourhood Development Plan Steering Committee had been debating in their meetings and see the data that had been collected. Carnival Day was open to all residents of Harbury and Deppers Bridge as well as visitors from further afield. Two members of the Parish Council manned the stall and were there to answer questions. Maps of the village of Harbury had been printed and they were given out for parishioners to mark where they would like to see houses built and also mark areas where they definitely would not. More question sheets were given out with the maps and around 30 were handed back in.
- 2.8 To engage young people, in April 2015, Southam College were contacted by the Committee requesting permission for a Youth Questionnaire to be completed by Key Stage 4 students in their Tutor Time. 110 questionnaires were delivered to the office. Unfortunately, the correct instructions were not given to staff and the questionnaires were put into registers and then ignored by tutors and students alike. Only 10 questionnaires were returned with 30 blank ones and 70 questionnaires were "lost"! As the opinions of young people are important a volunteer went to the Southam College bus stops in Harbury every morning for a week and encouraged students to fill in the questionnaires there and then. Due to her enthusiastic approach another 90 were produced and collated. They were from KS 3 students as well as KS 4.
- 2.9 At the beginning of May 2015 contact was made with Harbury Church of England Primary School requesting an appointment with the Headteacher. The Chair of HNDPSG met with Ms Kate Guymer on 5th May. Kate Guymer has been Headteacher at the school since September 2014 and sees interaction between the school and community as important. The Chair of HNDP Steering Committee went into the school on Friday 8th May to talk to the children during their assembly and explained to the importance of the NDP for their future and how their opinions were valued by the Parish Council. She asked the children to think about their 'likes' and 'dislikes' regarding Harbury for when they completed the questionnaire. The objective was to engage the pupils with the development of the Plan. During the week of May 11th to 15th

the questionnaires were given out to staff who ensured that they were completed by all of the children in class time and returned to the school office. Each class – even reception - completed the questionnaires and the staff should be praised for their commitment to the HNDP.

Table 2– Web site hits

Month	Unique visitors	Number of visits	Pages	Hits	Bandwidth
Jan 2015	0	0	0	0	0
Feb 2015	4	6	9	9	9.03 KB
Mar 2015	3	5	6	6	2.73 KB
Apr 2015	20	34	177	792	162.59 MB
May 2015	148	191	668	3,195	831.41 MB
Jun 2015	64	86	261	1,292	227.55 MB
Jul 2015	0	0	0	0	0
Aug 2015	0	0	0	0	0
Sep 2015	0	0	0	0	0
Oct 2015	0	0	0	0	0
Nov 2015	0	0	0	0	0
Dec 2015	0	0	0	0	0
Total	239	322	1,121	5,294	1.19 GB

2.10 In May 2015 the Committee arranged interviews with managers of key services in the village. The Practice Manager at the Doctor’s Surgery, Headteacher at the primary school and Chair of the Village Hall Committee. The conclusions being that:

- the surgery was working to capacity regarding its patient numbers;
- the Primary School could accommodate some additional children; and
- the Village Hall had capacity to accommodate increased use.

2.11 Publicised using letters to groups, letters to businesses, telephone calls to stakeholders, the *Harbury & Ladbroke Magazine*, posters on notice boards, invitation postcards delivered to Deppers Bridge and other houses, a Facebook page for Harbury NDP and the Parish Council website (Table 2) a second Open Afternoon was held on 23rd May 2015.

2.12 The aim of this event was to receive feedback on the ‘vision’ and ‘objectives’ and ‘policies’ that the Steering Committee had devised. Parishioners were informed about the progress of the Harbury Neighbourhood Development Plan. Large A3 posters of the objectives and policies to do with HOUSING, TRAFFIC & TRANSPORT, BUSINESS, CONSERVATION AREA, LEISURE & WELLBEING and COMMUNITY ASSETS were on display. Photographs and statistics

showing the results of previous questionnaires, as well as feedback from the young people of Harbury were displayed. The St Francis Group, the developers for the former Cement Works Site (entitled Harbury Estate) situated between Harbury and Bishops Itchington, provided information and plans. John Hallam from The Price Family Trust was in attendance to answer questions on the *Village With A Vision* proposals. New material from Gladmans was on display; also plans of the housing development at Hillside. Keith Cockell showed plans and answered questions about his proposals for Henrys. The following Harbury organisations had stands in the hall:

- Harbury Energy Initiative – giving ideas for energy conservation and sustainability as well as promoting their e-car service.
- Harbury Heritage – with photographs of how Harbury had changed over the years.
- Harbury Society – their look at Harbury over the years, and what change means for the community in the short and long term.

Free tea and biscuits allowed people to sit and discuss what they had seen.

Raffle tickets were given out to assess how many people came through the door, with a bottle of bubbly as a prize every hour. 203 raffle tickets were handed out, but John Hallam recorded 260 residents looking at his plans.

2.13 Following these early meetings the Committee worked up an informal draft plan. This was, again, posted on the Parish Council web site. Broad views were canvassed on the overall direction of the plan between 7th December 2015 to 15th January 2016.

2.14 A series of meetings were also held with important stakeholders:

Planning, Stratford District Council.

In addition to regular email correspondence, meetings were held between the Committee and planning officers.

Land owners: Follets Holdings, The Price Family Trust, The Sperling Family Trust, Henrys

Developers of potential housing sites: Gladmans, Price Family Trust, English Care Villages, St Francis Group – Harbury Estate (Cement Works)

County Councillor and District Councillors

Public Sector Agencies: Stratford District Council; Harbury C of E Primary School; Southam College; Harbury Surgery; Fire Service; English Heritage; English Nature; The Post Office; The Co-operative Society; Londis

Private sector stakeholders: Public Houses – The Old New Inn, The Shakespeare, The Crown, The Gamecock, The Great Western. The Village Club, Harbury Village Hall, Harbury Community

Library, Harbury Chemist, Hair Salon, Cana Wine shop, Bull Ring Garage, Offices in Bull Ring Business Centre, farms in the parish, the Autistic Centre, Bishops Bowl Lakes.

3.0 First Regulation 14 Consultation on the Harbury Draft Neighbourhood Development Plan – 1st August to 23rd September 2016

3.1 Following this extensive informal consultation, the first formal public consultation on the Harbury Draft Neighbourhood Plan was carried out in accordance with The Neighbourhood Planning (General) Regulations 2012 (SI No. 637) Part 5 Pre-submission consultation and publicity, paragraph 14. This states that:

Before submitting a plan proposal to the local planning authority, a qualifying body must—

(a) publicise, in a manner that is likely to bring it to the attention of people who live, work or carry on business in the neighbourhood area

(i) details of the proposals for a neighbourhood development plan;

(ii) details of where and when the proposals for a neighbourhood development plan may be inspected;

(iii) details of how to make representations; and

(iv) the date by which those representations must be received, being not less than 6 weeks from the date on which the draft proposal is first publicised;

(b) consult any consultation body referred to in paragraph 1 of Schedule 1 whose interests the qualifying body considers may be affected by the proposals for a neighbourhood development plan; and

(c) send a copy of the proposals for a neighbourhood development plan to the local planning authority.

3.2 The first Regulation 14 Draft Harbury Neighbourhood Plan was published for the minimum 6-week formal public consultation on 1st August 2016. The Draft Plan was available for viewing and downloading from the Parish Council website; a dedicated neighbourhood planning page; and facebook. Hard copies of the Draft Plan were available for viewing at the Library. A summary of the policies was also published (Appendix 3).

3.3 The draft NDP and comment forms were sent to the groups and bodies in Appendix 4.

3.4 Public notices were placed in the Harbury and Ladbroke Magazine and on the Parish Council noticeboards.

3.5 A letter was sent to all Consultation Bodies, providing information about the consultation dates, and the locations where the Draft Plan and accompanying documents could be viewed and downloaded. Copies of the letters were sent to local businesses and local community organisations. Respondents were invited to complete the Response Form and to submit completed forms / other comments by email or by post to the Parish Clerk (Appendix 5).

- 3.6 Stratford on Avon District Council was advised of the publication and submitted detailed comments (Table 3).
- 3.7 The plan, web site and all letters all informed interested parties of how they could obtain a copy of the plan, how to respond (preferably using a comment form), to whom and by what date.
- 3.8 All responses were logged, considered by the Parish Council at an Extraordinary General Meeting on 1st December 2016 (Appendix 6) and the Parish Council response published (Tables 3 and 4).

Table 3. SADC Response to First Regulation 14 Consultation Draft NDP, September 2016 (please note some names and addresses have been withheld).

Policy related comments:

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
Section 3 – Harbury Profile	Paragraph 3.1, p.14	Fourth line – should read ‘Stratford-upon-Avon.’	Amend as suggested.
Section 3 – Harbury Profile	Paragraph 3.10, p.17	Final sentence should read ‘These were previously adopted by Stratford-on-Avon District Council and still have status as informal supplementary planning guidance.’	Amend as suggested.
Section 4 – Vision and Objectives	Objective 1, p.25	The objective looks to ensure that a significant proportion of new housing is affordable and retained in perpetuity for those with a ‘local’ connection. Given that housing policies within the NDP promote ‘windfall’ development within the village settlement boundary but do not look to promote allocated sites, concern is raised that the objective will not be met when considering the provisions of Policy CS.18 (Affordable Housing) of the Core Strategy in relation to scale of development necessary to trigger affordable housing provision and the level of provision required through the Core Strategy.	No change. This sets out the objective for the plan. It does not deal with implementation.
Section 4 – Vision and Objectives	Objective 6, p.26	The objective looks to ensure that all extensions and renovation of existing buildings will be carbon neutral. It is considered this is far too onerous a target and should be re-worded to read ‘...encouraging all extensions and renovations of existing buildings to be carbon neutral, where possible’ or something similar.	Amend as suggested.

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
<p>Map 1 – Settlement Boundary</p>	<p>Significant views, p.28</p>	<p>Amend key to read 'Significant views out of the village' for clarification purposes. It is also queried whether the 4 views shown on the map are the only 'significant' views. It is not clear how they were chosen and what were is meant by 'significant' when evaluating a view?</p> <p>It is unclear as to why certain areas of land to the north and east of the village have been included within or excluded from the settlement boundary. Justification may be required in order to confirm consistency of approach in assessing the line of the boundary.</p>	<p>Amend key to read 'Significant views out of the village'.</p> <p>The four views have been carried forward from the existing Village Design Statement – no change to Map 1.</p> <p>Key decision for PC on the following point: It is unclear as to why certain areas of land to the north and east of the village have been included within or excluded from the settlement boundary. Justification may be required in order to confirm consistency of approach in assessing the line of the boundary.</p> <p>Undeveloped land was included in this location on the understanding that it could be needed for homes for older people. There is now a possibility this may not go forward. The PC need to decide if boundary should revert back to existing built form. ADD IN CORE STRATEGY GUIDANCE. At the 1st of December meeting the Parish Council decided to follow SADC advice and revert to the remove land to the north and east of the settlement from within the settlement boundary and revert to the existing built form.</p>
<p>Section 5 – Policies</p>	<p>Policy H.01, p.30</p>	<p>It is not considered that criteria a), c) and d) are compliant with the NPPF and Core Strategy as drafted since they are too restrictive. Propose</p>	<p>Amend criteria a), c) and d) as suggested.</p> <p>Delete "they" from beginning of criterion f).</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
and Proposals		<p>amending the beginning of each of these three criteria: 'do not have an unacceptable adverse impact...' to provide a degree of consideration on a case by case basis.</p> <p>Delete 'they' from the beginning of criteria f).</p> <p>Delete 'all development must be' from criteria g) and replace with 'are'.</p>	<p>Delete 'all development must be' from criteria g) and replace with 'are'.</p>
Section 5 – Policies and Proposals	Policy H.01 – Background, p.31	<p>Delete paragraph 5.1 which refers to the Local Plan Review 2006.</p> <p>Paragraph 5.2 – Remove the words '...any saved policies from the previous Local Plan'</p> <p>Paragraph 5.4 – Remove 'now' between '(Policy CS15)' and 'identifies'.</p> <p>Paragraph 5.5 – Consider adding the 4 no. sites with planning permission to Map 1 with cross-reference numbering to this paragraph for clarity.</p>	<p>Delete para 5.1</p> <p>Remove 'any saved policies from the previous Local Plan' from para. 5.2.</p> <p>Remove 'now' between '(Policy CS15)' and 'identifies' from para. 5.4</p> <p>Amend Map 1 to show sites with planning permission.</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
<p>Section 5 – Policies and Proposals</p>	<p>Policy H.03, p.35</p>	<p>It is unclear whether Policy H.03 is about meeting local needs or mainstream development to meet District needs or possibly both. Most of the Policy and paragraphs 5.11 and 5.12 appear to imply local needs but para 5.13 suggests District needs.</p> <p>Para 5.13 refers to determining affordable housing in accordance with Core Strategy policy although I think that the wrong policy is quoted. The text refers to Policy CS17 in the Core Strategy which is about meeting housing needs from outside the District; it should probably be Policy CS18 which is about affordable housing.</p> <p>From a strategic housing perspective, if Policy H0.3 is intended to meet local needs, the wording of the actual Policy is fine except that it begs the question of what happens on sites with fewer than six homes.</p> <p>The policy states that the final housing mix on sites of 6 or more new dwellings should be agreed with the Parish Council. However, policies CS.18 (Affordable Housing) and CS.19 (Housing Mix and Type) set out District wide objectives and it is unclear how this policy as drafted would be in conformity to the Core Strategy, particularly given the preferred future housing provision as set out in Figure 4 accompanying this policy in the NDP.</p>	<p>OPTION 1 - Amend paras. 5.11, 5.12 and 5.13 to state that the NDP seeks to help meet the housing requirement identified for Category 1 Service Villages in the Core Strategy. Remove references to “need” in Policy H.03.</p> <p>OPTION 2 – delete policy H.03.</p> <p>Amend CS17 reference to CS18.</p> <p>It was agreed to adopt the approach in Option 1.</p> <p>6 or more dwellings is the threshold identified in Core Strategy Policy CS18 – no change.</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
Section 5 – Policies and Proposals	Policy H.03 – Background, p.35	<p>Paragraph 5.12 refers to the most recent Housing Needs Survey being carried out in 2011 and sets out the results of that survey. Concern is raised that this evidence is now out-of-date and an opportunity has been missed to update this evidence based work alongside and informing the NDP.</p> <p>Paragraph 5.13 – This should refer to Core Strategy Policy CS.18, not CS.17.</p>	<p>Comment noted. No change. The Housing Needs Survey is considered reasonably up to date and has been supplemented by information from the Harbury Neighbourhood Plan Questionnaire.</p> <p>Amend CS17 reference to CS18.</p>
Section 5 – Policies and Proposals	Policy H.04, p.36	<p>Policy H.04 is definitely about meeting local needs but this then raises the question of the extent to which it overlaps/ duplicates Policy H.03 (Policy H0.4 also suggests that H.03 is about market led schemes). Once the intention of Policy H.03 has been clarified, Policy H.04 will have to be amended or possibly the two policies amalgamated into one policy.</p> <p>The term “Rural Exception Housing” in the heading may lead to confusion as the Core Strategy in Policy CS15 (G) refers to Local Needs Schemes; possibly use the heading “Local Needs Schemes – Rural Exception Housing”?</p> <p>The Policy should definitely refer to the fact that all such schemes must have the support of the Parish Council and that this should be the overriding consideration when determining whether any such schemes should receive planning permission.</p>	<p>See note above on clarifying use of “need” in Policy H.03. Policy H.04 is about meeting needs – no change as a result of this comment.</p> <p>Replace the term “Rural Exception Housing” in the heading and replace with that used in the Core Strategy “Local Needs Schemes”.</p> <p>Add in need to have support of Parish Council.</p> <p>Add to the policy reference to Local Market Homes if that is the wish of the community.</p> <p>Last line of policy preamble replace “when” with “unless”.</p> <p>Amend criterion (b) to:</p> <p>“in Harbury village it is within reasonable walking distance of public transport and local community facilities.”</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
		<p>The policy should refer to the fact that such schemes may include Local Market Homes as well as affordable housing if that is the wish of the community.</p> <p>There may be a typo in the Policy itself "...will be supported in areas where it will not normally be considered when (unless?) it meets the following circumstances..."</p> <p>Criteria b) states that rural exception housing will be supported in locations that are 'in reasonable walking distance of public transport and local community facilities'. Criteria a) include Deppers Bridge within the policy parameters. However, it is not considered that Deppers Bridge would comply with the provisions of criteria b) due to its remote location and as such it is considered that an application for a rural exception housing scheme in Deppers Bridge would fail the test in this policy.</p>	
Section 5 – Policies and Proposals	Policy H.05, p.37	It is unclear why criteria f) is applicable just to sites adjacent to Conservation Areas, or why it is considered appropriate for development to be set back from the road.	Delete criterion (f).
Section 5 – Policies and Proposals	Policy H.05 – Background, p.38	The 'Background/Justification' heading to the explanatory text is missing.	Add 'Background/Justification'

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
Section 5 – Policies and Proposals	Policy H.06 – Background, p.38	The 'Background/Justification' heading to the explanatory text is missing.	Add 'Background/Justification'
Section 5 – Policies and Proposals	Policy H.07, p.39	<p>Local Green Spaces should be in written with capital L, G and S since they are describing a specific land designation.</p> <p>It is considered that the 10 LGS areas listed in this policy be numbered and the numbers transposed on to Map 2 for clarification purposes. Criteria h) Deppers Bridge Playing Field does not appear to be shown on Map 2.</p>	<p>Capitalise Local Green Space</p> <p>Number Local Green Spaces and add to map.</p> <p>Map Deppers Bridge Playing Fields.</p>
Section 5 – Policies and Proposals	Policy H.09, p.44	<p>Add 'out of the village' between 'views' and 'shown' in the first line of the policy for clarification purposes.</p> <p>The policy refers to prominent views in to and out of Deppers Bridge. What views are these and where are they mapped?</p> <p>The policy asks that any new development provide a 'new view' if an existing view is obscured. It is not understood how this requirement could be achieved or controlled.</p>	<p>Amend first line of policy as suggested.</p> <p>Views from Design Statement to be identified on the Policies Map.</p>
Section 5 – Policies and Proposals	Policy H.09 – Background, p.45	Paragraph 5.21 looks to introduce policy in explanatory text. If the intention is to protect these particular views through the NDP, this requirement will need to be added to the policy itself. Are the views described from public	Add views in para. 5.21 to Policy and Map.

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
		footpaths/vantage points? They would also need to be mapped spatially.	
Section 5 – Policies and Proposals	Policy H.10, p.45-46	Criteria d) requests the retention of heritage assets. However, given the policy is looking to consider landscape design principles against which to assess development, it is suggested 'retention of' is replaced by 'impact on'.	Amend criterion (d) as suggested.
Section 5 – Policies and Proposals	Policy H.10 – Background, p.46	Whilst the background detail sets out the landscape context within which Harbury sits, it does not go on to explain what the policy is protecting and the rationale behind it.	Explain rationale for Policy H.10.
Section 5 – Policies and Proposals	Policy H.11, p.46	The policy asks that new development mitigates cumulative impact associated with other development in the area. 'In the area' is quite a vague description by which to assess the policy. Additionally it is not considered appropriate for development to compensate for deficiencies elsewhere in the village. It is recommended that the wording 'and to mitigate any cumulative impact that development may have in conjunction with other development in the area' be deleted.	Amend as suggested.
Section 5 – Policies and Proposals	Policy H.11 – Background, p.46-47	The 'Background/Justification' heading to the explanatory text is missing. Paragraph 5.24 – First line says 'following' so need to place Figure 5 after the paragraph.	Add 'Background/Justification' Place Figure 5 after para. 5.24.

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
Section 5 – Policies and Proposals	Policy H.12 – Background, p.49	It needs to be borne in mind that a shop unit can change what goods are sold without the need for planning permission.	Comment noted.
Section 5 – Policies and Proposals	Policy H.13, p.52-53	Some harm can occur through development and still be acceptable. In order to comply with the provisions of the NPPF, it is considered the wording of this policy requires minor modification to read: 'Development proposals for new or improvements to existing community facilities will be supported when they preserve local character and distinctiveness and do not <i>cause unacceptable harm to the landscape..</i> '	Amend as suggested.
Section 5 – Policies and Proposals	Policy H.14, p.54	<p>Criterion a) encourages applicants to first consult with the Parish Council. It may be more appropriate to re-word as follows: 'Adopt sustainability measures promoted through the Harbury Energy Initiative and the Parish Council'.</p> <p>In relation to criteria c), it should be noted that under the Building Regulations, all new homes have an energy assessment on completion. However, it is unclear how and by whom performance could be monitored after purchase of new homes.</p> <p>It is not clear how criteria d) can be achieved and or insisted upon through this policy.</p>	<p>Amend as suggested.</p> <p>Delete criteria (c) and (d).</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
Section 5 – Policies and Proposals	Policy H.15, p.55-56	<p>To ask all development (of any scale) to include the highways measures requested is too onerous. Suggest deleting the word 'All' at the beginning of the policy.</p> <p>Criteria b) is a WCC Highways function and not a land-use planning matter and should be removed from the policy.</p> <p>It is not clear how criteria c) requesting access to public transport can be achieved, particularly given there are no site allocations for larger development proposals promoted through the NDP and as such the scale of any future development may be too small to require s.106 contributions.</p> <p>The 5 no. bullet points on p.56 are a mixture of WCC Highway functions and possible projects, not policy requirements. It is considered these items may not pass the Basic Conditions tests and may be removed from the policy by an Independent Examiner.</p>	<p>Amend first line of policy to: “Where appropriate development proposals should include measures to minimise their impact...”</p> <p>Delete (b).</p> <p>Comment noted on (c) – no change.</p> <p>Remove bullets on page 56.</p>
Section 5 – Policies and Proposals	Policy H.16 – Background, p.57	<p>The policy relates to business and employment, but para. 5.32 refer to community facilities and services. Is this correct? Should reference to facilities be replaced with reference to business and employment opportunities?</p>	<p>Amend para 5.32 to refer to businesses.</p>
Section 5 – Policies	Policy H.18, p.60	<p>Unsure why there is specific reference to 'non-farm shop' premises within the policy.</p>	<p>Delete reference to “non-farm shop”.</p>

Section	Reference/NDP page	Comment	Parish Council Consideration and Response
and Proposals			
Section 5 – Policies and Proposals	Policy H.19, p.60	<p>Insert 'non-designated' between 'local' and 'heritage' in the first line of the policy.</p> <p>These assets should be numbered and added to a map for ease of reference.</p> <p>Unsure why there is an asterisk against Hillcrest Cottage Well and Pump.</p>	<p>Amend as suggested.</p> <p>Number and map.</p> <p>Remove asterisk</p>
Appendices	Appendix 1 – Map of Listed Buildings	It is considered including a larger scale map showing the buildings more clearly would be more appropriate and useful.	Re-map.

Table 4. Resident and Stakeholder Responses to First Regulation 14 Consultation Draft NDP, September 2016

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
1 Member of the public		Policy H.07	Whilst I fully support the included areas I believe that the open space at the cul-de-sac end of Manor Orchard should also be included. This is certainly larger than the Pump Green and the Bull Ring Green and has been used as a play area and for community events, i.e. Jubilee celebrations.	This open space is owned by the parish council. It was agreed to include it on the list.
1 Member of the public		Policy H.15	In addition to the proposed priorities I believe that the support of a regular bus service to Leamington Spa and Southam should be added	Comment noted. Improved bus services not a neighbourhood plan matter.
2 Member of the public		Policy H.01	On street parking should not be reduced by new development.	Comment noted.
2 Member of the public		Policy H.07	The Frances Road Green should be added to the list of green spaces.	This site is owned by SDC. It was agreed to add it to the list.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
2 Member of the public		Policy H.09	"where a new development obscures a view, a new view is provided". This needs clarification; it could be argued that the view of the tenement obscuring the old view is the new view.	This point had already been covered when reviewing SDC's comments.
2 Member of the public		General comments	When building work has started it should be completed in a reasonable time. There is a trend for building work to be started to stop the planning clock, then abandoned for long periods of time, leaving an eyesore on the street scene. Public footpaths and rights of way within the village should be protected as they mark ancient boundaries and historical features.	Comments noted. The neighbourhood plan cannot influence development timescales. Public Rights of Way have existing protection.
3 Member of the public		Policy H.06	The definition of 'green infrastructure' should be expanded to specifically reference private garden and paddock. The character of our village is at risk of 'garden grabbing' and it is therefore important that our Neighbourhood Development Plan has provision to challenge inappropriate development.	It was agreed to amend policy H.06 to reference "paddocks". Development of gardens considered under criterion (e) of Policy H.01. No change arising from this latter comment.
3 Member of the public		Policy H.19	Support	Support noted.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
<p>4 Ian Mercer, Bruton Knowles</p>		<p>Suggested site allocation</p>	<p>I would like to submit formal representations in regards to the Harbury Neighbourhood Development Plan, namely in regards to the proposed development boundary. I am representing the land owners of the land north of Mill Street, Harbury, highlighted by the Green and Blue land as outlined on the Site Plan attached. The site has backing from a residential developer which (if the site came forward in the further) shows that the site is available and deliverable. The total site is circa 4.7 acres and therefore has a capacity of around 30-40 dwellings, subject to landscape and physical development considerations.</p> <p>From Map 1 in the Harbury Development Plan, part of the site has been incorporated within the proposed settlement boundary. This relates to "old flo's" petrol station and forecourt. The site has steadily become an eyesore, serving no functional or heritage purpose to the village. It is assumed that the inclusion of this site within the proposed settlement boundary suggests a desire for the site to be developed. This assumption has been concluded from the land at Bull Ring Farm also being included within the settlement boundary. I acknowledge that when this boundary was</p>	<p>It was agreed that there should be no change to settlement boundary in this area. Core Strategy Policy AS.10 supports small scale housing schemes in Local Service Villages within the Built-Up Area Boundary. Most of the suggested site falls outside the Built-Up Area, with the exception of the garage and forecourt.</p> <p>It was agreed that the Harbury NDP does not allocate other sites for development and the strategic allocation of development identified for Harbury in Core Strategy Policy CS.16 has already been met.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>produced, it may have been expected that the proposed development at Bull Ring Farm (consisting of 32 C2 units and 21 C3 units) would be consented. The site has since this month been refused, with an appeal unlikely. This therefore leaves capacity for the proposed development boundary to be revised, to incorporate more of my clients' land.</p> <p>However, the site area that has been proposed to be included within the village's settlement boundary is too small to be a viable development site for any developer. Due to the site's historic use, there will be considerable remediation costs associated in order to bring the site into a state in which it is clear and safe for development. A small scale development of 5-10 dwellings would not support the pre development works as well as the associated costs of affordable housing and the pending Community Infrastructure Levy. For the site to be deliverable and viable, more of the land (as outlined by the attached site plan) will need to be brought into the confines of the village,</p> <p>Paragraph 5.12 identifies an inherent need for affordable housing within the village, as highlighted via the 2011 Harbury Housing</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>Needs Survey. The most efficient way that significant numbers of affordable properties are delivered is through allocating larger sites. Therefore, not only will incorporating more land here remove the defunct petrol station, but also contribute significantly to the supply of affordable homes within the village. For example, a development here of 35 dwellings will provide 12 affordable units.</p> <p>Objective 1 of the Development Plan, identifies a desire to provide housing for people of all ages and incomes to live in the parish on small housing developments. I would argue that this objective is contradictory.</p> <p>Stratford District Council's affordable housing policy (CS.18) states that on site provision of affordable housing is only sought on sites with 11 or more dwellings. Further to this, policy CS.19 (Housing Mix) can only be loosely employed on smaller scale sites. This leads to developments of circa 6 dwellings constituting of larger 4 or 5 bed properties, clearly going against the aspirations of Objective 1. Evidently, the only way for objective 1 to be a success, is to allocate larger sites.</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>This then relates to Objective 5 – investment into community facilities. With larger developments, it is possible for the Parish Council to engage with developers in regards to wider community benefits, either directly or indirectly, through physical provision or via Section 106 Payments.</p> <p>I note that this suggested land is subject to a 'significant view' which provides a countryside view, maintaining a sense of the village's rural character. This is outlined by policy H.09. However, this policy states that these views are not sacrosanct, and that "where a new development obscures a view, a new view is provided". This could be achieved via considerate planning and landscaping within any proposed scheme on this site, framing the rural landscape and providing a more significant view to the one that currently exists.</p> <p>In July 2016, Stratford District Council adopted their Core Strategy, meaning that all of the contained policies are now being employed robustly. Further to this, Stratford also have a confirmed 5 Year Housing Land Supply. A recent Pre Application meeting that I was involved in</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>regarding a Local Service Village, highlighted the Council's stance in not backing any further large housing applications within the district. This goes against ruling in the NPPF which states that development should be granted in favour of the presumption of sustainable development.</p> <p>This stance that the DC are employing will lead to a point whereby there will not be a 5 year housing supply and speculative applications will be granted; in places where it is not wanted.</p> <p>A means to control this would be for the Harbury Development Plan to have a schedule of preferred sites, which would come forward at the point of need. A longer term strategy such as this should be employed to preserve local control over the direction of new development. This will aid in the conservation of the village's character and ensure sustainable rather than explosive growth. Being a category 1 village, Harbury would be open to speculative housing applications in undesirable locations. Even without local support, these applications (without a district 5 year supply) are likely to be consented at appeal. It is imperative to</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>consider these potential outcomes, especially when the plan runs to 2031.</p> <p>In considering the village's Landscape sensitivity (plan attached) the location of my clients' land is located within parcel Hr04, Despite being within subject to a classification of High/Medium sensitivity to residential development, it lies next to land of Medium sensitivity (Hr03). Therefore, future development in this location provides the most sensible locations in regards to a working access and landscape considerations, as well as the current physical state of the site.</p> <p>To summarise, I am calling for more of my clients' land to be incorporated into the proposed development boundary as outlined by Map 1. Furthermore I feel it is essential for the Parish to consider a schedule of favourable development sites that would come forward in the instance that Stratford cannot demonstrate a 5 Year Housing Land Supply. These will ensure that Objectives are met within the Harbury Neighbourhood Development Plan,</p> <p>I would like the opportunity to discuss our thoughts in more detail and would appreciate a meeting with Members of the</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>Neighbourhood Plan Group at the earliest convenience. I look forward to hearing from you, Yours faithfully</p>	
<p>5 Harbury Society</p>		<p>Objective 1, Policy H.01</p>	<p>By stating that new housing development should be concentrated within the tightly drawn settlement boundary we will put at risk our remaining open spaces and encourage further “garden grabbing”.</p> <p>I do not understand the justification for this policy. Far better would have been to suggest that suitably designed growth for our organic increase <i>might</i> be considered suitable if confined to the south side of the village; our justification being to limit its distance from our facilities, to encourage walking and cycling and to limit congestion.</p> <p>B) With regard to “securing a suitable mix of housing” we must insist on an independent and up-to-date Housing Need Survey to show what is not just wanted by members of the community, but assesses what those residents needing homes can actually afford. There would be no point in</p>	<p>No change. Development of gardens considered under criterion (e) of Policy H.01.</p> <p>Comment noted. Policy H.01 allows for suitable development within the settlement boundary.</p> <p>Comment noted. No change. See comments on SADC response regarding housing need.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>building what they do not want or cannot buy or rent as is happening now.</p> <p>C) 5.12 should make much clearer what housing already has planning permission.</p>	<p>This point had already been covered when reviewing SDC's comments.</p>
		<p>OBJECTIVE 2</p>	<p>Paras. 5.16 & 17 Are very poor and do little to help preserve the rural nature of our village. These must be strengthened to have some bite.</p>	<p>Comments noted. Paras. 5.16 and 5.17 are background material Not plan policies. No change.</p>
		<p>OBJECTIVE 3</p>	<p>Policy H 07, para. 5.18 "Local communities through local and neighbourhood plans should be able to identify for special protection green areas of particular importance to them."</p> <p>E) Given the amount of work I put into listing and assessing the value of our Open and Green Spaces I am extremely disappointed to find that very few of these areas have been included in this plan.</p> <p>Apart from the Church Paddock and Allotments, all those which are included</p>	<p>It was agreed to make no changes to the list but to add a reference to the list at appendix 2.</p> <p>Other open spaces not protected as Local Green Spaces would be protected under Policy H.08.</p> <p>The Spinney is outside the settlement boundary and therefore already has some protection.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>belong to the Parish Council and already have statutory protection as Village Greens! Does that suggests the Parish Council doesn't trust itself to protect them? Yet bizarrely not all Parish Council property (for instance the Burial Grounds and Pound Green) are included. This is a wasted opportunity which defies logic.</p> <p>We need to protect the "Hollow Squares" highlighted in our Village Design Statement.</p> <p>We need to protect the setting of our Listed Buildings</p> <p>We need to protect our sweeps of grass verge that add so much to the rural aspect.</p> <p>We need to protect our remaining forest trees and remnants of hedgerows.</p> <p>We need to protect our remaining wildlife havens and corridors.</p>	
		<p>Policy H.09</p>	<p>H.09 - Protecting Significant Views</p> <p>F) The map shows only the views out of the village but I was pleased to see that some consideration was given to protecting to internal views, like those to the Windmill and Church - as the Village Design Statement makes clear.</p> <p>But there are others which are not included:- sweeps of grass verges as in</p>	<p>The views shown have been previously been identified in the Village Design Statement. This point had already been covered elsewhere.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>Farm Street, Vicarage Lane, Mill Street and Park Lane etc; the internal footpaths – Darkie Lane, Lovers Lane and Dovehouse Lane to the Pound.</p> <p>We have also failed to protect views of our significant forest and ornamental trees; - those at Trice’s Farm, Harbury Hall, Harbury House, The Manor, Churchyard and Church Paddock, School, The Shakespeare, Spinney, etc. many of which can be seen from a great distance.</p>	
		<p>Policy H.10</p>	<p>H.10 – Landscape Design Principles</p> <p>G) This needs to be much more robust. Just stating that development proposals will be “informed by and assessed against” the Landscape Design (Statement) principles has no meaning without stating clearly what we value and why we cherish it.</p>	<p>No change. This is a development management policy and sets out the criteria against which planning applications will be assessed.</p>
		<p>Policy H.14</p>	<p>H.14 - Sustainable Design and Energy Efficiency</p> <p>This is fine as far as it goes but must also demand just the same quality of design and respect for the surrounding “heritage” buildings as for any other development. The illustration would suggest that anything would be acceptable anywhere. Certainly within the Conservation Area,</p>	<p>Comment noted. The policies in the neighbourhood plan should not be read, and will not be implemented in isolation. The policies in the plan should be read as a whole, including those protecting heritage assets. They will also be implemented alongside other legislation including that relating to Listed Buildings and Conservation Areas.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			adjacent to Listed Buildings, or fronting the old village streets much more consideration to architectural design is required.	
		Policy H.19	<p>H.19 - Protecting Local Heritage</p> <p>This lists some of our Heritage Assets to be “conserved” but then suggests that our Listed Buildings are “non-designated heritage assets”. I cannot understand why this should be.</p> <p>Surely as Listed Buildings or Artefacts they have a very definite protection in law which we should be emphasising. Have I misunderstood what this Policy is about? Either way we should be listing what these assets are, what they mean to us and what we expect from any development proposals.</p>	The list of assets was clarified and amended and will be added to the appendices. Policy H.19 seeks to protect non-designated heritage assets. Listed buildings are designated heritage assets.
6 Member of the public		H.01 and H.02	An NDP cannot stop all future development, it should aim to make it clear where and under the circumstances that development would be acceptable. Due to little space left within the settlement boundary map H01 and H02 taken together would make any future development on	Comment noted. The neighbourhood plan clearly sets out where and under what circumstances development would be supported. This approach has been developed to sit within the strategic planning policy framework set out in the Core Strategy.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			the outskirts of the village very difficult. The cumulative effect of all the listed criteria may result in undue pressure on open spaces and gardens within the built up village.	
6 Member of the public		H.05b	The word "all" should be inserted before "open spaces" and following added " all trees with TPOS and others including hedges that add to the landscape, and are wildlife corridors	No change to "open spaces". Amend Policy H.05 to add new criterion on trees and hedges.
6 Member of the public		H.07	Burial ground must be added, what about the Spinney? Would also add all wide verges in this policy as well to accentuate their importance to the look of the village.	This had already been covered elsewhere. Areas such as verges protected under Policy H.08.
6 Member of the public		H.08	Once a wildlife corridor has been lost in a specific location it is almost impossible to make "better provision .. elsewhere" All small open spaces must be preserved.	Comment noted. No change.
6 Member of the public		H.10	The list is fine as far as it goes, however landscape design must include consideration of the natural features which create a landscape. Add f) Retention of important natural features which add to the landscape	It was agreed to add new criterion (f).
6 Member of the public		H.12	Add Wight School car park don't think it can be assumed that listing the "library" includes the car park	It was agreed to map the car park.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
6 Member of the public		H.19	All listed building MUST be added to the list	Policy H.19 seeks to protect non-designated heritage assets. Listed buildings are designated heritage assets and protected under other legislation.
7 Gladman		Legal Requirements	<p>Legal Requirements</p> <p>Before a neighbourhood plan can proceed to referendum it must be tested against a set of Neighbourhood Plan Basic Conditions, set out in §8(2) of Schedule 4b of the Town and Country Planning Act 1990 (as amended). The Basic Conditions to which the HNP must be found in compliancy with are as follows:</p> <p>a) Having regard to national policies and advice contained in guidance issued by the Secretary of State it is appropriate to make the neighbourhood plan</p> <p>b) Having special regard to the desirability of preserving any listed building or its setting or any features of special architectural or historic interest that it possesses, it is appropriate to make the order</p> <p>c) Having special regard to the desirability of preserving or enhancing the character or appearance of any conservation area, it is appropriate to make the order</p> <p>d) The making of the neighbourhood plan contributes to the achievement of sustainable development</p>	Comment noted. The plan meets the legal requirements. On submission a Basic Condition Statement will be prepared setting this out in detail.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>e) The making of the neighbourhood plan is in general conformity with the strategic policies contained within the development plan for the area of the authority</p> <p>f) The making of the neighbourhood plan does not breach, and is otherwise compatible with, EU obligations</p> <p>g) Prescribed conditions are met in relation to the plan and prescribed matters have been complied with in connection with the proposal for the neighbourhood plan</p> <p>If the HNP is unable to be found in accordance with all of the basic conditions set out above then it will not be able to proceed to referendum. National Policy and Guidance.</p>	
7 Gladman		National Planning Policy Framework	<p>National Planning Policy Framework</p> <p>England and how these are expected to be applied. In doing so, it sets out the requirements for the preparation of neighbourhood plans to be in conformity with the strategic priorities for the wider area and the role in which they play in delivering sustainable development to meet identified development needs.</p> <p>At the heart of the Framework is a presumption in favour of sustainable development, which should be seen as a</p>	<p>Comment noted. The plan has been prepared having regard to national planning policy. On submission a Basic Condition Statement will be prepared setting this out in detail.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>golden thread through both plan-making and decision-taking. For plan-making this means that plan makers should positively seek opportunities to meet the development needs of their area and Local Plans should meet objectively assessed needs (OAN) for housing, with sufficient flexibility to adapt to rapid change. This requirement is also applicable to neighbourhood plans.</p> <p>The application of the presumption in favour of sustainable development will have implications for how communities engage with neighbourhood planning. Paragraph 16 of the Framework makes clear that qualifying bodies preparing neighbourhood plans should develop plans that support strategic development needs set out in Local Plans, including policies for housing development that plan positively to support local development.</p> <p>Paragraph 17 further makes clear that neighbourhood plans should set out a clear and positive vision for the future of the area and policies contained in those plans should provide a practical framework within which decisions on planning applications can be made with a high degree of predictability and efficiency. Neighbourhood plans should seek to proactively drive and support sustainable</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>economic development to deliver the homes, jobs and thriving local places that the country needs, whilst responding positively to the wider opportunities for growth.</p> <p>neighbourhood plans. This has also been confirmed in the High Court . Paragraph 184 of the Framework makes clear that the ambition of the neighbourhood plan should be aligned with the strategic needs and priorities of the wider area. To facilitate this, local planning authorities (LPAs) will need to set out clearly their strategic policies to ensure that an up-to-date Local Plan is in place as quickly as possible. Where a neighbourhood plan proceeds in advance of the adoption of a Framework-compliant Local Plan, this will create uncertainty as to whether the neighbourhood plan provides an appropriate basis for the spatial approach contained in its administrative area.</p>	
7 Gladman		Planning Practice Guidance	<p>Planning Practice Guidance It is clear from the requirements of the Framework that neighbourhood plans should be prepared in conformity with the strategic requirements for the wider area as confirmed in an adopted development plan. The requirements of the Framework</p>	<p>Comment noted. The plan has been prepared having regard to national planning guidance. On submission a Basic Condition Statement will be prepared setting this out in detail.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>have now been supplemented by the publication of Planning Practice Guidance (PPG).</p> <p>On 11th February 2016, the Secretary of State (SoS) published a series of updates to the neighbourhood planning chapter of the PPG. In summary, these update a number of component parts of the evidence base that are required to support an emerging neighbourhood plan. In particular, the changes to the PPG stress the importance of considering housing reserve sites, and providing indicative delivery timetables to ensure that emerging evidence of housing needs is addressed to help minimise any potential conflicts that can arise and are not overridden by a new Local Plan.</p> <p>On 19th May 2016, the Secretary of State published a further set of updates to the neighbourhood planning PPG. These updates provide further clarity on what measures a qualifying body should take to review the contents of a neighbourhood plan where the evidence base for the plan policy becomes less robust. As such it is considered that where a qualifying body intends to undertake a review of the neighbourhood plan, it should include a policy relating to this intention which includes a detailed explanation outlining</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			the qualifying bodies anticipated timescales in this regard.	
7 Gladman		Relationship with Local Plan	<p>Relationship with Local Plan</p> <p>To meet the basic conditions the HNP will need to be found in general conformity with the strategic requirements that govern the wider local authority area. In this regard, the relevant strategic policies that the HNP should seek to support and meet are contained in the recently adopted Stratford-on-Avon Local Plan/Core Strategy. Policy it would be considered prudent planning if the housing target for the neighbourhood area is seen as a minimum.</p> <p>In addition, it is also important that the HNP allows for sufficient flexibility so that it is able to respond to changes affecting the wider area. In this regard the adopted Core Strategy is clear that further housing land across the local authority area will be identified within the context of the Site Allocations Plan or depending on the circumstances a review of the Local Plan to meet the housing needs arising within the borough and from the wider Coventry and Warwickshire Housing Market Area.</p>	Comment noted. The plan has been prepared to be in general conformity with strategic planning policy. On submission a Basic Condition Statement will be prepared setting this out in detail.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>that it can meet its full agreed housing requirement. However, no contingency measures are included within the neighbourhood plan. Accordingly, it is recommended that the Parish Council consider the need to allocate additional housing land/housing serve sites to help minimise any potential conflict between the HNP and the emerging Site Allocations Plan or any subsequent review of the Local Plan.</p>	
<p>7 Gladman</p>		<p>H.01</p>	<p>This policy states that new housing development will be concentrated within the Harbury village settlement boundary subject to the criteria attached to this policy. Whilst Gladman note that the proposed settlement boundary includes land at Bush Heath Lane, we would be opposed to the use of a settlement boundary if this would preclude the delivery of otherwise suitable and sustainable growth opportunities from coming forward.</p> <p>In this regard, Policy H.01 will seek to contain the physical growth in the settlement with no regard to the contingency measures incorporated within the Stratford-on-Avon Local Plan. In this regard, the community have identified a number of services, facilities and areas that are in need of improving. Accordingly, flexibility and additional criteria is required</p>	<p>Comment noted. No change. Policy H.01 is in general conformity with the Core Strategy. The housing target at the strategic level has been exceeded. Policy H.01 will allow for further limited growth in line with the Core Strategy.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>to enable the delivery of schemes beyond this artificial limit so that the proposed SUEs may not come forward as envisaged and therefore further housing sites are needed in order to provide a flexible housing land supply and to contribute to the minimum housing target required at a strategic level.</p>	
<p>7 Gladman</p>		<p>H.02</p>	<p>Policy H.02 allows for some limited development but this will not enable the level of financial contributes, beyond the settlement boundary the Plan makes only a limited provision for housing i.e. replacement dwelling, rural workers dwelling etc. These forms of development will not enable the delivery of market and affordable housing and will limit the level of financial contributions that the Parish Council is likely to receive to meet its wider objectives.</p> <p>In this circumstance we believe that a criteria based approach consistent with the requirements of national policy, specifically the presumption in favour of sustainable development should replace H.01 in its current</p> <p>positive approach to new development that reflects the presumption in favour of sustainable development contained in the</p>	<p>Comment noted. No change. Policy H.02 is in line with the Core Strategy.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>National Planning Policy Framework. Applications that accord with the policies of the Development Plan and the Harbury Neighbourhood Plan will be supported particularly where:</p> <ul style="list-style-type: none"> • Providing new homes including market and affordable housing; or • Opportunities for new business facilities through new or expanded premises; or • Infrastructure to ensure the continued vitality and viability of Harbury. <p>Development adjacent to the existing settlement will be permitted provided that any adverse impacts do not significantly and demonstrably outweigh the benefits of development.”</p> 	
<p>7 Gladman</p>		<p>H.04</p>	<p>Whilst noting the intention of this policy, the delivery of rural exception sites may be difficult without evidence</p> <p>as this could be difficult as they will unlikely achieve the most optimum value of land that could be secured. A key part of the preparation of the Plan should be to identify areas which the local community wishes to shape and benefit from to provide certainty that the plan will remain effective and achieve its aspirations going forward.</p>	<p>Comment noted. No change.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>Further, it is noted that this policy accepts the principle of housing development beyond the proposed settlement boundary subject to it adjoining the existing built development, within reasonable walking distance of public transport and local community facilities and the future use of such housing is secured in perpetuity to meet a local need. Should the Parish Council wish to deliver affordable housing the delivery of market housing should be recognised to act as a form of enabling development to achieve this goal.</p>	
7 Gladman		H.09	<p>Gladman submit that new development can often be delivered without resulting in the loss of openness, character or impacting on views considered to be important. Whilst noting the intention of this policy there is no robust evidence to demonstrate why these views are of particular importance. Furthermore, the word "preserving" should be replaced with "enhancing".</p>	<p>The views shown have been previously been identified in the Village Design Statement. Parish Council to consider other views and agree final list.</p> <p>Policy H.09 final sentence has already been amended to:</p> <p>"Development proposals should ensure that special attention is paid to retaining public viewpoints of the defined significant views, and where new development would obscure an existing public viewpoint, a new public viewpoint of the significant view should be created."</p>
7 Gladman		H.11	<p>What comes across from the HNP is the need to boost services and facilities i.e. the</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>wish list identified in the supporting text. This will most likely be achieved via developer contributions however it is the case here that limited contributions will be received beyond committed sites and small infill style development or the rural exception site and this will have its own viability concerns and the financial benefits and upgrades to infrastructure may well be reduced. The HNP is the opportunity to guide the development over the plan period and beyond to meet the needs of the community now and in the future. Accordingly, there is a significant need to reconsider the approach through the allocation of housing land and/or housing reserve</p> <p>. This will also enable a further degree of certainty that the Plan will remain effective over its lifetime and will help assist the Council in deciding where future housing land should be identified through the Site Allocations Plan process.</p>	
7 Gladman		H.14	<p>In principle, Gladman support the provision of this policy which seeks to encourage the use of sustainable energy initiatives. However, it is with regret that Gladman inform the Parish Council that the criteria the Parish Council is seeking will likely be found contrary to the basic conditions.</p>	<p>Comment noted. The policy has been developed in light of the Ministerial Statement and seeks to encourage the identified measures it does not seek to compel developers to meet additional standards.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>The written statement to parliament dated 27th March 2015 makes clear that neighbourhood plans should not apply any additional technical standards relating to the construction of new homes and that the optional technical standards should only be implemented through an emerging Local Plan based on a clear and up-to date assessment of need. Neighbourhood Plans should not be used to apply the new national construction standards.</p> <p>Gladman recommend that Policy H.14 be deleted in its current form.</p>	
		<p>Strategic Environmental Assessment/Sustainability</p>	<p>Strategic Environmental Assessment/Sustainability</p> <p>The preparation of Neighbourhood Plans falls under the scope of the Environmental Assessment of Plans and Programmes Regulations 2004 (SEA regulations), that require a Strategic Environmental Assessment (SEA) to</p> <p>Both the SEA Directive and Neighbourhood Planning PPG make clear that an SEA Screening Assessment should be undertaken at the earliest opportunity. It is currently unclear from the consultation documents whether an SEA is required or whether a Screening Assessment has been undertaken.</p>	<p>Comment noted. SADC are carrying out the necessary SEA work. SA is not a neighbourhood plan requirement.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			Gladman therefore reserve the right to comment on this issue at a later date.	
8 Spitfire Homes		Suggested Site Allocation	<p>SITE: LAND AT VICARAGE LANE, HARBURY Spitfire Properties LLP wish to make comments in relation to the draft Harbury and Deppers Bridge Neighbourhood Development Plan 2031 with specific reference to the proposed development of land at Vicarage Lane in Harbury. Spitfire would be grateful if the Parish could take the below comments into consideration. Members of the Parish Council will be aware that representatives from Spitfire and Andy Wilkins of Lone Star Land meet with members of the Parish Council in July to discuss the proposed development of the above site. At this meeting, it was confirmed that Spitfire has acquired an option to develop the site for residential development subject to obtaining planning consent. The following section describes the site and associated details relating to its potential development.</p> <p>Site Details The site extends to approximately 0.56ha (1.38 acres) and comprises of n04 Vicarage Lane — a vacant dormer bungalow and a private paddock to the rear which is unused and overgrown. Former stable buildings remain on one boundary of the site which are otherwise marked by</p>	

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>hedgerows interspersed with mature trees (largely in neighbouring gardens). There are a small number of apple and pear trees dispersed across the site which are in a poor condition, and a single specimen tree (Ash) which is of a substantial size.</p> <p>The site is accessed via a metal gated driveway from Vicarage Lane to the east which serves the vacant bungalow and garage building to the rear of the site.</p> <p>With regards to site constraints, it is noted that:</p> <p style="padding-left: 40px;">The site is located within the Harbury Conservation Area and is situated in close proximity to a number of listed buildings situated along Vicarage Lane and Church Street.</p>	
8 Spitfire Homes		H.01	<p>With regards to Policy H.OI, Spitfire Properties support the principle of concentrating new housing development within the Harbury village settlement boundary. However in accordance with Para 48 of the NPPF and Policy CS.16 of the Stratford Core Strategy, an allowance should be made for windfall/infill sites to come forward during the plan period.</p> <p>Spitfire Properties consider the land at Vicarage Lane to be of a scale and nature which could be considered as infill</p>	<p>Support of the settlement boundary is welcomed. In not allocating sites, but setting out criteria when proposals for new housing within Harbury village would be supported the neighbourhood plan sets a framework for assessing windfall sites. No change.</p> <p>Based on the respondents own figures there is no need to allocate a further large site for development. The Core Strategy seeks 450 new homes in Category 1 service Villages</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>development. In addition, Councillors are aware that the site is situated in a sustainable location in close proximity to the centre of the village and its development which would not have an adverse impact on the Parish's aspirations for the village.</p> <p>With regards to the figures contained within para 5.7 of the Neighbourhood Plan, these need to be updated to take account of Housing Completions and Commitments – Settlements (as of 31 March 2016). It is noted that whilst 38 homes have been built, there are 95 units recognised as 'commitments'. This gives a total of 133 units instead of 128. Amendments to these figures will mean that Harbury will contribute 29.5% of the identified growth in Category 1 Service Villages over the plan period.</p> <p>Whilst the Parish consider that they have meet their housing requirement, recognition should be made to Para 47 of the NPPF and Policy CS.16 of the Core Strategy which notes that the District are required to boost significantly the supply of housing with at least 14,600 units for the 20 plan period. As such, the Neighbourhood Plan should be positively prepared to allow for additional windfall /</p>	<p>with no more than around 25% to be provided in an individual settlement.</p> <p>There is no need to allocate additional sites.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			infill sites to come forward in sustainable locations within the village boundary.	
8 Spitfire Homes		H.03	With regards to Policy H.03, whilst it is acknowledged that the Parish wish to seek a mixture of housing types, tenures and sizes within new developments of 6 or more dwellings, reference should be made to Policy CS.19 which notes that "larger the scale of development the more opportunity exists to a wide range of dwelling types and sizes". As such, the ability to achieve a broad mix on small developments can be difficult to achieve when set within the achieving a viable proposal. Whilst this point should be acknowledged, Spitfire Properties recognise the need noted within the Harbury Housing Needs Survey and are content that a proportion of this need can be addressed through the development of land at Vicarage Lane.	Comments noted. No change.
8 Spitfire Homes		H.05	With regards to Policy H.05, Spitfire wish to make no comment in relation to this policy. It is contended that development at Vicarage Lane would be of a high quality design which would be in keeping with the character of the local area.	Comments noted. No change.
8 Spitfire Homes		H.06	With regards to Policy H.06, the land at Vicarage Lane does not serve any recreational or tourist interest. As noted, the site is in private ownership and is not accessible to the general public. With	Comments noted. No change.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			regards to ecology, should an application be pursued, this would be supported by a Phase I Habitat Survey and any subsequent ecological surveys (Bats, Birds, Badgers, Great Crested Newts etc) which are deemed to be required. In the event that anything of note be identified then this would be mitigated through ecological mitigation measures which comply with guidance provided by Natural England.	
8 Spitfire Homes		H.08	With regards to Policy H.08, Spitfire Properties acknowledge the details contained within this policy but with specific regard to the site at Vicarage Lane it should be noted that this site is in private ownership and does not perform a useful function for the betterment of the village. Therefore it should not be classified as open space.	Comments noted. No change.
8 Spitfire Homes		H.11	Spitfire Properties acknowledge the details contained within Policy H.11, but highlight that any infrastructural requirements sort by the Parish Council should be in accordance with Regulation 123 of the Community Infrastructure Levy and Policy CS.27 – Developer Contributions of the Stratford Core Strategy.	Comments noted. No change.
8 Spitfire Homes		H.14	Spitfire Properties acknowledges the details contained within Policy H.14 – Sustainable Design and Energy Efficiency but would like to note that the policy should	Comment noted. The policy seeks to encourage the identified measures it does not seek to compel developers to meet additional standards.

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			<p>have regard and be in 'general conformity' with policies contained within the National Planning Policy Framework (Section 10 – Meeting the Challenge of Climate Change) and the Stratford-on-Avon Core Strategy (Policy CS.2 Climate Change and Sustainable Construction).</p> <p>As it stands, Part B of Policy H.14, notes that the Parish will encourage ... a fabric first approach through a higher than basic Fabric Energy Efficiency Standard target". Clarification is sort on what is the standard target? For example Warwick District Council impose planning conditions requesting details which demonstrate that a scheme shows either 10% of the predicted energy requirement of the development will be produced on or near to the site from renewable energy resources or shows at least 10% of the energy demand of the development and its CO2 emissions would be reduced through the initial construction methods (fabric first). Furthermore, it noted in Part C of Policy H.14 that performance test on new homes will be monitored for at least one year after purchase. In response to this, clarification is sort on who is expected to monitor this? If it is the developer, then there is no mechanism in national or local planning</p>	<p>It has already been agreed to delete criteria (c) and (d) see Table 1 SADC comments.</p>

Respondent	Section	Reference/NDP page	Comment	Suggested Parish Council Response
			policy which requires developers to undertake this monitoring exercise.	
8 Spitfire Homes		H.19	Spitfire Properties acknowledge the details contained within Policy H.19 and consider that the development of land at Vicarage Lane will result in less than substantial harm to those heritage assets listed in Church Street and Vicarage Lane. Any application would be supported by a Heritage Statement to support the development of the site.	

4.0 Second Regulation 14 Consultation on the Harbury Draft Neighbourhood Development Plan – 6th February to 20th March 2017

- 4.1 Following advice from Stratford-on-Avon Council, it was decided, because of the change in circumstances that had resulted in the settlement boundary being changed to exclude land at Bullring Farm, that the Regulation 14 consultation should be re-run. This was to give all interested parties another opportunity to comment on the revised plan. This revised plan also took account of changes in response to the first Regulation 14 consultation agreed at the 1st December 2016 meeting of the Parish Council.
- 4.2 The second Regulation was publicised in the same way as the first regulation 14 consultation (see <http://www.harbury-pc.gov.uk/developmentplan.htm> for full details). The main changes being a new response form was issued and the dedicated neighbourhood plan web site was no longer operative. In advertising the plan all the formal regulatory requirements were complied with as they had been with the first Regulation 14 consultation. Tables 5 and 6 set out the responses received and the Parish Council response.

Table 5. SADC Response to Second Regulation 14 Consultation Draft NDP, March 2017

Section	Reference/NDP page	Comment	Suggested Response
Map 1 – Settlement Boundary	p.29	No additional comments on the proposed changes to the settlement boundary.	Noted – no change.
Section 5 – Policies and Proposals	Policy H.03 (p.35-36)	If housing in the Parish is to meet requirement identified in the Core Strategy, it would seem inappropriate to expect developers to agree the mix of dwellings with Parish Council. Also, schemes cannot be expected to meet the needs of older and younger residents – dwellings may be suitable but occupancy of market dwellings cannot be controlled. Core Strategy does not stipulate that development should provide self-build so wording of this policy is probably too prescriptive.	Comment on agreement of the Parish Council noted. This “should” take place but is not being required e.g. by saying “must”. The Parish Council can offer useful and helpful advice and information to developers on housing needs in the area. Suggest re-wording to: “Before finalising the housing mix on such sites developers should consult and take into account the views of the Parish Council along with up-to-date demographic...” On the comment about old/young/self-build amend to “including a range of homes to meet the needs of different age groups and, where feasible and viable for those seeking to build their own home.”
Section 5 – Policies and Proposals	Policy H.04 (p.37-38)	Criterion (b) should start with ‘In...’	Amend as suggested.
Section 5 – Policies and Proposals	Policy H.05 (p.38-39)	No additional comments on the proposed changes to this policy.	Noted – no change.

Section 5 – Policies and Proposals	Policy H.07 (p.40-41)	The policy is acceptable if fully justified. There seems to be a mismatch between 12 no. LGSs identified in the policy (12 off) and those highlighted in Appendix 2 (15 off). Manor Orchard Green and Frances Road Green do not appear to be highlighted in Appendix 2. It would be helpful if reference letters of LGSs in policy were included in Appendix 2 to make it clear – it is expected the Examiner to ask for this.	Resolve differences in Policy and Appendix. Add in further justification for identified local green spaces.
Section 5 – Policies and Proposals	Policy H.09 (p.46-47)	No additional comments on the proposed changes to this policy.	Noted – no change.
Section 5 – Policies and Proposals	Policy H.10 (p.47-48)	No additional comments on the proposed changes to this policy.	Noted – no change.
Section 5 – Policies and Proposals	Policy H.14 (p.57)	No additional comments on the proposed changes to this policy.	Noted – no change.
Section 5 – Policies and Proposals	Policy H.15 (p.58)	It is unclear why traffic calming measures have been deleted as they seem appropriate for inclusion in a NDP policy.	<p>Criterion (b) and the accompanying projects were deleted based on SADC’s comments at the first Regulation 14 comments stage:</p> <p>“To ask all development (of any scale) to include the highways measures requested is too onerous. Suggest deleting the word ‘All’ at the beginning of the policy.</p> <p>Criteria b) is a WCC Highways function and not a land-use planning matter and should be removed from the policy.</p> <p>It is not clear how criteria c) requesting access to public transport can be achieved,</p>

			<p>particularly given there are no site allocations for larger development proposals promoted through the NDP and as such the scale of any future development may be too small to require s.106 contributions.</p> <p>The 5 no. bullet points on p.56 are a mixture of WCC Highway functions and possible projects, not policy requirements. It is considered these items may not pass the Basic Conditions tests and may be removed from the policy by an Independent Examiner.</p> <p>No change.</p>
Section 5 – Policies and Proposals	Policy H.19 (p.63-65)	The policy would appear to be acceptable if it is fully justified. An Examiner will expect to see reasoned justification for all the sites listed in the policy, to ensure they meet the 'set criteria' for local listing.	The sites were identified by the Neighbourhood Plan Steering Committee and in consultation with local stakeholders. Individual landowners have been consulted separately. No change. .

Table 6. Resident and Stakeholder Responses to Second Regulation 14 Consultation Draft NDP, March 2017

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
Natural England			Natural England does not have any specific comments on this draft neighbourhood plan.	Noted. No change.
Member of the public	Policies and Proposals	Policy H.01	Objection seeks amendment of settlement boundary to include two sites to the west of village.	Housing commitments in Harbury have already exceeded those identified in the Core Strategy. Further development will be supported within the settlement boundary. The settlement boundary as defined in the NDP includes the existing built-up area and housing commitments. The "Wilsons land" has not previously been included in the settlement boundary. This is not an error. No change to the plan as a result of this objection.
Member of the public	Policies and Proposals	Policy H.01	I object to the recommended change in Settlement Boundary for the following reasons: <ul style="list-style-type: none"> The Land at Bull Ring Farm Road was included in the previous and current Village plan of 2005. There is no 	Comments noted but the site at Bull Ring Farm was deleted following the previous Regulation 14 consultation and the material change in circumstances following the refusal of planning permission for extra care

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>reason to change it, it is central to the village and is in close proximity to all local amenities so is very well located</p> <ul style="list-style-type: none"> • This land was identified by residents of the village in the still current Housing Needs Survey as a site which is ideal for providing housing for the Elderly Population of Harbury. Out of 385 Residents who responded to the Housing Needs Survey, 151 believe there is a lack of housing in the village. Why remove a Site which could be of use in the future and is right in the centre? • The Parish Plan highlights overwhelmingly that the majority of residents believe that there is a need for elderly accommodation in the village centre – this parcel of 	<p>dwellings and houses on the site – ref 15/02254/FUL. No change to plan.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>land was identified as the preferred plot to meet this need</p> <ul style="list-style-type: none"> • The Parish Plan should take into account the interests of everyone in the village and should not be biased in favour of those closest to the land in question, who perhaps may make the loudest noise against keeping it in the boundary • There is a clear need for bungalows and affordable housing in the village and the Landowners (who have owned this land in the village for 100 years in 2018) are not developers but a family who wish to provide what the village needs and have sought to work with the village to achieve this 	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
Member of the public		Page 37, para 5.14	<p>There is a need for multi-generation properties where one adult needs to have independent living downstairs that provides them with a bedroom, bathroom, own lounge. This would be in addition to a kitchen, lounge and w.c. for the rest of the family. We require this for an elderly relative but households that have a mix of disabled and able bodied adults will also require this. The new builds do not accommodate this type of living. Also it needs to be affordable.</p>	<p>Comment noted. The HNPD seeks to achieve this objective through the housing policies it contains i.e. H.03 and H.04.</p>
Member of the public	Policies and Proposals	Policy H.01	<p>I object to the recommended change in Settlement Boundary for the following reasons:</p> <ul style="list-style-type: none"> • The Land at Bull Ring Farm Road was included in the previous and current Village plan of 2005. There is no reason to change it, it is 	<p>Comments noted but the site at Bullring Farm was deleted following the previous Regulation 14 consultation and the material change in circumstances following the refusal of planning permission for extra care dwellings and houses on the site – ref 15/02254/FUL. No change to plan.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>central to the village and is in close proximity to all local amenities so is very well located</p> <ul style="list-style-type: none"> • This land was identified by residents of the village in the still current Housing Needs Survey as a site which is ideal for providing housing for the Elderly Population of Harbury. Out of 385 Residents who responded to the Housing Needs Survey, 151 believe there is a lack of housing in the village. Why remove a Site which could be of use in the future and is right in the centre? • The Parish Plan highlights overwhelmingly that the majority of residents believe that there is a need for elderly accommodation in the village centre – this parcel of land was identified as the 	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>preferred plot to meet this need</p> <ul style="list-style-type: none"> • The Parish Plan should take into account the interests of everyone in the village and should not be biased in favour of those closest to the land in question, who perhaps may make the loudest noise against keeping it in the boundary • There is a clear need for bungalows and affordable housing in the village and the Landowners (who have owned this land in the village for 100 years in 2018) are not developers but a family who wish to provide what the village needs and have sought to work with the village to achieve this 	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
<p>Historic England</p>			<p>Thank you for the invitation to comment on the Regulation 14 Neighbourhood Plan.</p> <p>Historic England is supportive of both the content of the document and the vision and objectives set out in it.</p> <p>The emphasis on the conservation of local distinctiveness and the protection of locally significant buildings and landscape character including important views is to be applauded. We also highly commend the approaches taken in the Plan to ensuring that the design of new development contributes to the conservation and enhancement of the historic environment.</p> <p>We do have one comment in that the Plan makes it clear that the Parish has a rich resource of archaeological</p>	<p>Amend H.19 to include as follows:</p> <p>“(Development proposals should) take full account of known surface and sub-surface archaeology and ensure unknown and potentially significant deposits are identified and appropriately considered during development after consultation with the Warwickshire Historic Environment Record (HER). Lack of current evidence of sub-surface archaeology must not be taken as proof of absence”.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>remains both above and below ground. Accordingly there is a possibility, both within the settlement boundary and beyond, that this resource will be impacted by new development. Therefore, we would strongly recommend the inclusion within the neighbourhood plan of a policy to cover the appropriate treatment of archaeological remains within the planning process. Perhaps as a new "h)" paragraph in Policy H.01. The Policy below would be suitable and has been adopted successfully elsewhere in Warwickshire:</p> <p>“(Development proposals should) take full account of known surface and sub-surface archaeology and ensure unknown and potentially</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>significant deposits are identified and appropriately considered during development after consultation with the Warwickshire Historic Environment Record (HER). Lack of current evidence of sub-surface archaeology must not be taken as proof of absence”.</p>	
<p>Member of the public</p>			<p>As a new organisation the HEI has too much prominence within the draft; Harbury has many other equally laudable long established organisations.</p> <p>Bias in favour of any particular group should be avoided.</p> <p>Words such as 'encourage, support etc' are used throughout the draft. Without qualification they can mean anything now and in years to come (?)</p>	<p>Comments noted. The plan treats all organisations fairly. The words "encourage etc. are used in conjunction with criteria to assess planning proposals – only when they meet these criteria will they be encouraged or supported.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
Member of the public		H.15	<p>In the light of recent developments, I consider policy H15 and associated policies and objectives throughout the document to be inadequate. Para 3.29 of the plan states that there is a "popular hourly bus service to Leamington and Southam". The service was clearly not sufficiently popular as it has now been replaced with an even less popular 2 hourly service. Against this background I would argue that it is insufficient to simply declare in H15 that it is the policy, "to encourage the use of</p>	<p>Comment noted. The NDP will continue to seek and support transport, including public transport, improvements.</p> <p>Amend first line on page 23 to read "...there is a popular service..."</p>
Member of the public			<p>General support for the plan.</p>	<p>Support noted.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
Member of the public	Policies and Proposals	H.01	<p>I object to the recommended change in settlement boundary for the following reasons:</p> <p>The land on Bull Ring Farm Road was included in the previous and current Village Plan dated 2005. It was highlighted by residents of the village in the previous and still current housing needs surveys as a site which is ideal for providing housing for the elderly population of Harbury. 151 of 384 residents who responded to the housing needs survey believe there is a lack of housing in the village so why remove a site which could be of use in the future? The current Parish Plan highlights overwhelmingly that the majority of residents believe there is a need for elderly accommodation in the village centre – hence this parcel of</p>	<p>Comments noted but the site at Bullring Farm was deleted following the previous Regulation 14 consultation and the material change in circumstances following the refusal of planning permission for extra care dwellings and houses on the site – ref 15/02254/FUL. No change to plan.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>land was identified as the preferred option. There is a clear need for bungalows and affordable housing in the village and the Landowners (who are not developers) who are a family who have owned the land in excess of 100 years and wish to provide what the village needs. The parish wishes to encourage people walking to reach facilities so why extend the boundary to add in parcels of land further out of the village rather than utilise the land already within the boundary.</p>	
<p>Member of the public</p>	<p>Policies and Proposals</p>	<p>H.01</p>	<p>I object to the proposal to remove the land on Bull Ring Farm Road from the village boundary.</p> <p>My family has significant history dating back over 100 years in the village of Harbury. My mother, Diana Price (Nee</p>	<p>Comments noted but the site at Bullring Farm was deleted following the previous Regulation 14 consultation and the material change in circumstances following the refusal of planning permission for extra care dwellings and houses on the site – ref 15/02254/FUL. No change to plan.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>Robinson), grew up in Harbury Hall and her father, my grandfather, was a wellrespected local figure. He was considered a generous and community focused man. For example, the local parish community were very familiar with Harbury Hall as the Sunday Catholic service was received each week in part of their home. And, during the war, as part of the 'Dig for Victory' movement my grandfather provided allotments for the parish. Allotments that remain in the heart of the village to this day.</p> <p>On the death of my grandparents, and my mother's only sibling, Anthony Robinson, it was discovered that the estate held significant debt. Such that Harbury Hall had to be sold. My mother's only</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>remaining connection with the village being the land on Bull Ring Farm Road and two other small parcels of land.</p> <p>For many years, it had been my mother's wish that a final legacy be left for Harbury in recognition of the fond memories of her childhood in the village. Unfortunately, in 2005, when the land on Bull Ring Farm Road was included in the village plan, my mother's health was such that she didn't have the energy or resources to explore options. She passed the land to myself and my three siblings so that we could. Sadly, my mother passed last year.</p> <p>My siblings and I have long considered what would be a fitting legacy. But it was only in 2010 when we were approached by Harbury's</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>'Village With A Vision' action group that we embarked on a plan to develop an elderly care facility for the ageing population of Harbury. Who otherwise would have to move out of the village. Between us we have spent a considerable amount of time and over £100,000 trying to get planning for a scheme addressing what we were informed were the needs of the village.</p> <p>We are not wealthy developers who can afford to throw money at property schemes. We are four families with young children, looking to deliver on our mother's wish. I am shocked and heartbroken to see that all our time, effort and financial investment in Harbury is considered with such contempt that a proposal to</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>move this land out of the village boundary, where it has been for a considerable time, would even be tabled. A decision to remove this land out of the village boundary, would mean that all future options for a Robinson legacy in Harbury would be over.</p> <p>For this reason, I object to the proposal to remove the land on Bull Ring Farm Road from the village boundary.</p>	
<p>Member of the public</p>		<p>H.01</p>	<p>Outline proposal</p> <p>1.0 History</p> <p>During the past twenty years, Harbury has had a number of new housing developments built on the periphery of the village, including Percival</p>	<p>This site should not be included within the settlement boundary as policies H.03 and H.04 already make provision for this type of housing. It was agreed to strengthen this by amending H.04 to include additional clarification with reference to self-build at paragraph 5.15.</p>

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>Drive, Hillside and, recently, the new David Wilson site.</p> <p>All these sites are mainstream housing schemes, built by large developers, producing high density urban style housing estates, the like of which can be seen within most towns and cities throughout the country.</p> <p>2.0 Developments</p> <p>Although this adds numbers to the Governments housing targets, the type and style of housing does nothing to enhance a village environment, or reduce its reliance on fossil fuels.</p> <p>There is a significant Self Build, Eco house movement sweeping the country. However, people wanting to build their own Eco house, usually for local occupancy, find it very difficult</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>to acquire a suitable building plot.</p> <p>3.0 Comment</p> <p>Harbury, I feel, is unique in its support for environmentally friendly projects. We have the Harbury Energy Initiative supporting numerous Eco projects and the draft Neighbourhood Development Plan (NDP) is very supportive of a low carbon, energy efficient, sustainable future for Harbury.</p> <p>4.0 Proposal</p> <p>I am the owner of a parcel of land situated on Bush Heath Lane, as identified on the attached plan. The land has three developed boundaries; Bush Heath Lane to the east, the new David Wilson site to</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>the south and a private road to the north.</p> <p>The site could accommodate possibly 6 to 8 individual serviced building plots to allow local families the opportunity to build their own Eco house.</p> <p>5.0 Advice</p> <p>I have been in discussions with Roger Coy Partnership; Architects who have already been involved with an Echo house project within Harbury, and also the proposed development of the sustainable swimming pool at Harbury School.</p> <p>The Architects have indicated that they could provide a design brief to ensure that the proposed homes would be built to the required design</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>parameters to meet appropriate Eco credentials.</p> <p>6.0 The Site</p> <p>The site is very well situated for Eco houses, as it is predominately South facing and is un-shaded, therefore receiving the maximum solar gain.</p> <p>7.0 Local Need</p> <p>A local family has already expressed a desire to take a plot to build their own family Eco house on the site.</p> <p>The proposal would also comply with the Governments new "Right to Build" Scheme.</p> <p>Conclusion</p> <p>I would be pleased to work with the Parish Council to promote the proposal within</p>	

Respondent	Section	Reference/NDP page	Comment	Agreed Parish Council Response
			<p>the NDP. The project would provide a unique opportunity for the village to utilise the NDP as a means to earmark this piece of land as a specific site for residents, with a local connection, to self build their own Eco house.</p> <p>I would envisage that the plots would be fully serviced and any prospective purchasers would be fully supported by the Architects. If required, advice and guidance would be offered to help them realise their aspirations to achieve a sustainable home, which they can justifiably be proud of.</p>	

5.0 Non-designated Heritage Assets Consultation

5.1 At the same time as re-running the Regulation 14 consultation the Parish Council also decided to contact, directly, owners of the non-designated heritage assets identified in the NDP.

5.2 A letter was sent to all owners of non-designated heritage assets identified in the second Regulation 14 Draft NDP. These replies were to the effect that:

- The well at Old Timbers should not be included in this plan. The well is comparatively newly constructed, in the 1990s, not a historical asset.
- Both the well and pump at Hill Cottage are non-functional. The well was sealed some years ago on safety grounds and the pump has never been operational over the 39 years that I have lived at Hill Cottage owing to breakages and missing components. In addition, the above ground structures of the well and pump are scheduled for removal as again they are considered unsafe.

5.3 It was, therefore, decided to not list the well at Old Timbers as a non-designated heritage asset given it is a comparatively recent feature; but to continue to identify the well and pump at Hill Cottage, given they are heritage assets, despite the current condition.

-

6.0 Strategic Environmental Assessment/Habitat Regulations Assessment

- 6.1 Neighbourhood Plans are covered by the Strategic Environmental Assessment Regulations and the Habitat Regulations Assessment process. Stratford on Avon District Council prepared an SEA Screening Report to determine whether the Harbury Neighbourhood Development Plan (SPNDP) should be subject to a Strategic Environmental Assessment (SEA), in accordance with the European Directive 2001/42/EC and associated Environmental Assessment of Plans and Programmes Regulations 2004 and/or a Habitats Regulations Assessment (HRA) in accordance with Article 6(3) of the EU habitats Directive and with Regulation 61 of the Conservation of Habitats and Species Regulations 2010 (as amended).
- 6.2 The Screening Report concluded that neither SEA nor HRA was required. It was subsequently sent to the relevant statutory bodies: Natural England, Historic England and the Environment Agency to clarify whether they agreed with Stratford on Avon District Council's findings as to whether the plan requires a full SEA and/or HRA assessment. The screening report is submitted alongside this Statement as required by Regulation as the Environment Report.

APPENDICES

APPENDIX 1 - Designation



HARBURY PARISH COUNCIL

2, Bull Ring Business Centre
Church Terrace
Harbury
Leamington Spa
Warwickshire
CV33 9HL

Tel: 01926 614646
E-mail: clerk@harbury-pc.gov.uk

The Planning Policy Team
SDC
Elizabeth House
Church Street
Stratford on Avon
CV37 6HX

20 May 2014

Dear Sir,

Application for the designation of a neighbourhood plan area

Harbury Parish Council hereby formally applies to Stratford-on-Avon District Council for designation of a neighbourhood area in accordance with Regulation 5 of The Neighbourhood Planning (General) Regulations 2012. In compliance with the requirements of Regulation 5 we include a map identifying the area to which the application relates.

We also confirm that the parish council considers that the parish of Harbury in its entirety is an appropriate and logical area to include within the plan. It is recognised that there will be a need to consult with our neighbouring parishes, in particular with Bishop's Itchington in relation to the development of the former cement works site which straddles the boundary between our two parishes, but it is not intended to include any part of Bishop's Itchington parish in the defined area.

This application for designation of a neighbourhood area is submitted by Harbury Parish Council, which as a parish council is a relevant body for the purposes of this matter and is defined as such under Section 61G (2) of the Town and Country Planning Act 1990.

Harbury Parish Council has initiated a neighbourhood plan steering group which comprises local residents and parish councillors. This group will take the lead in preparing the neighbourhood plan for this area and has the parish council's full support.

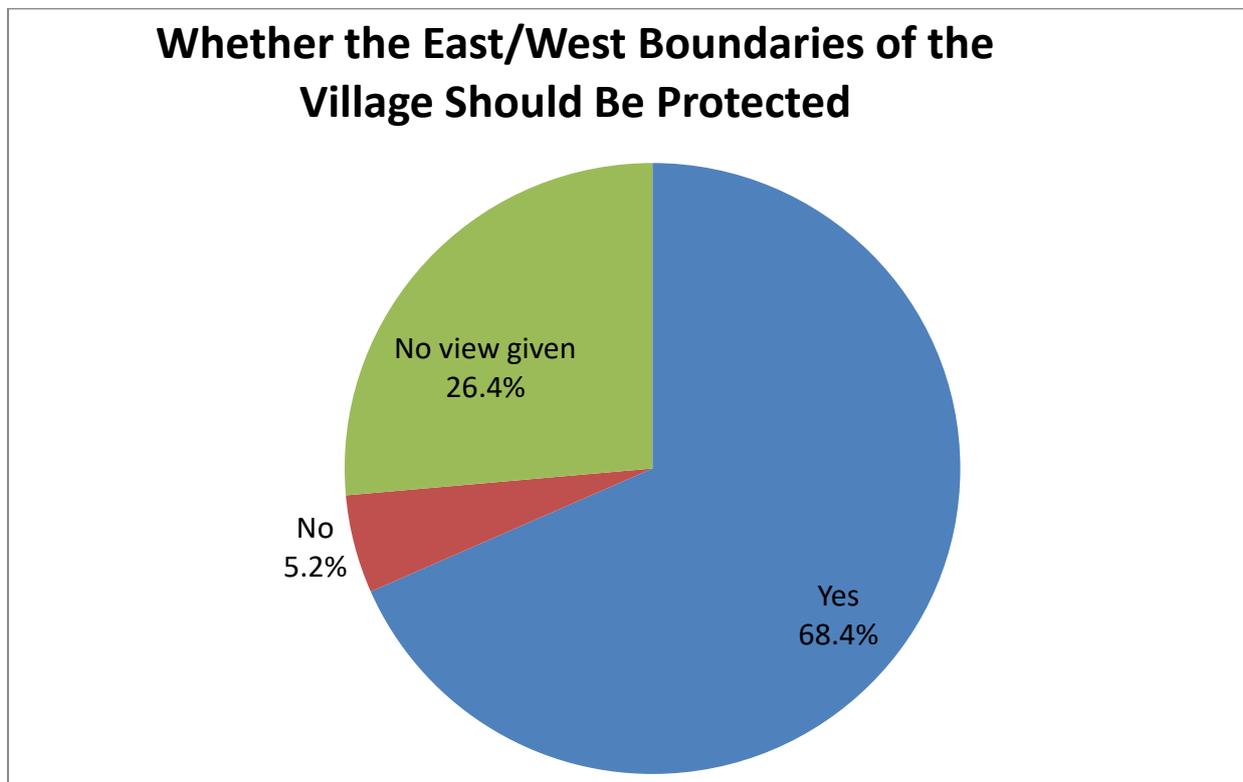
Harbury Parish Council formally requests that Stratford-on-Avon District Council, as the local planning authority, publicises this application in accordance with Regulation 6 of The Neighbourhood Planning (General) Regulations 2012. We can confirm that no previous application has been made for this area.

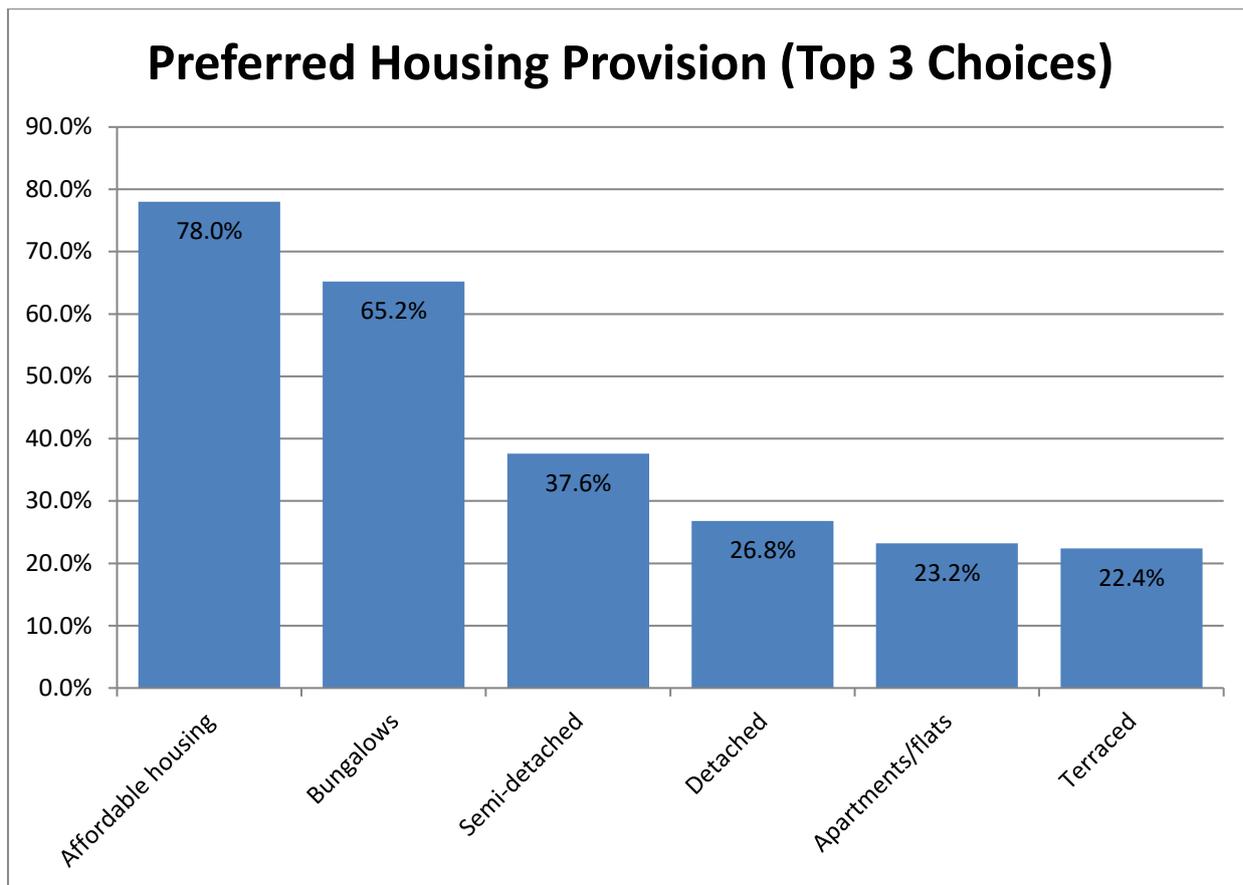
Yours faithfully,

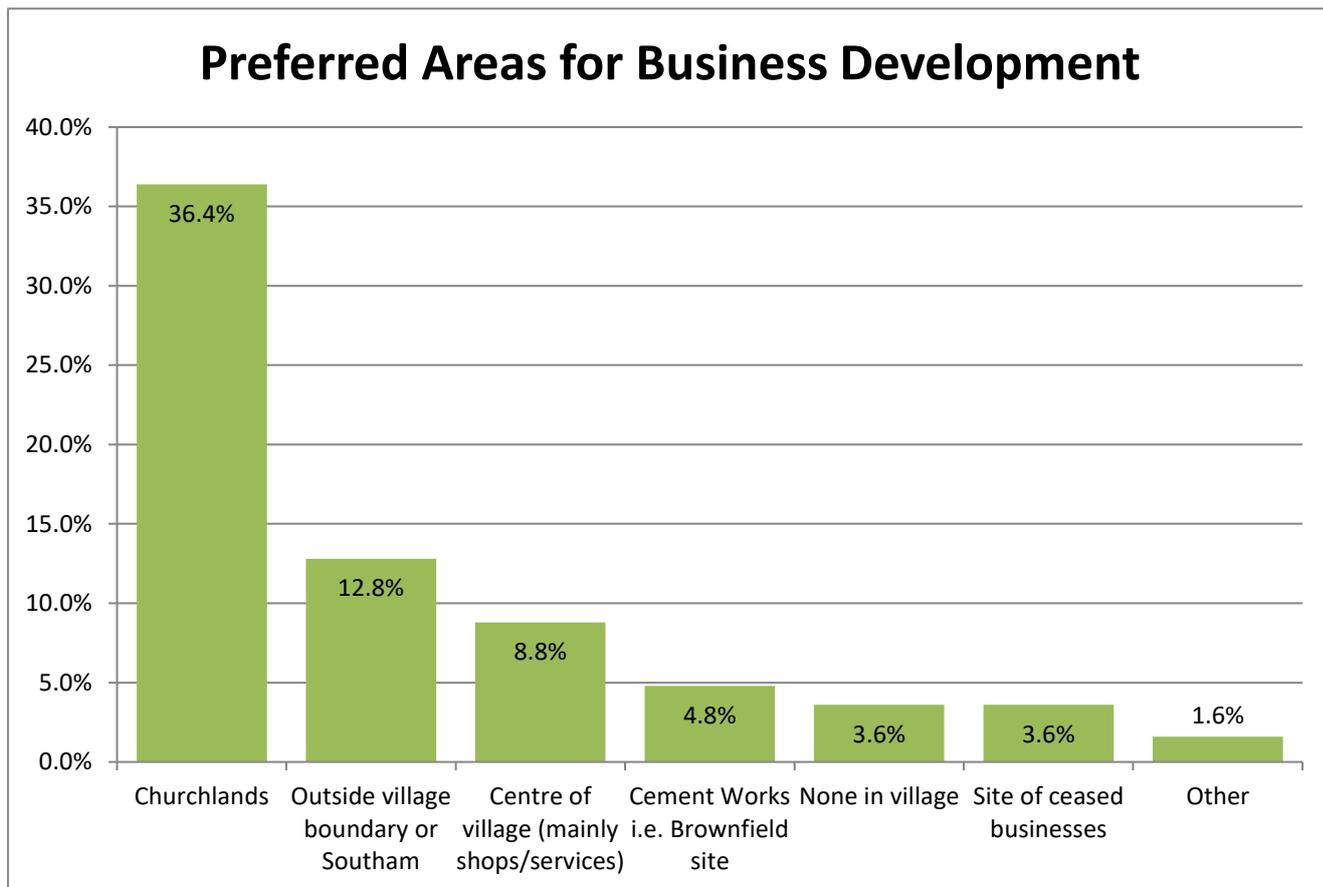
Alison Biddle MLCM
Clerk to the Council

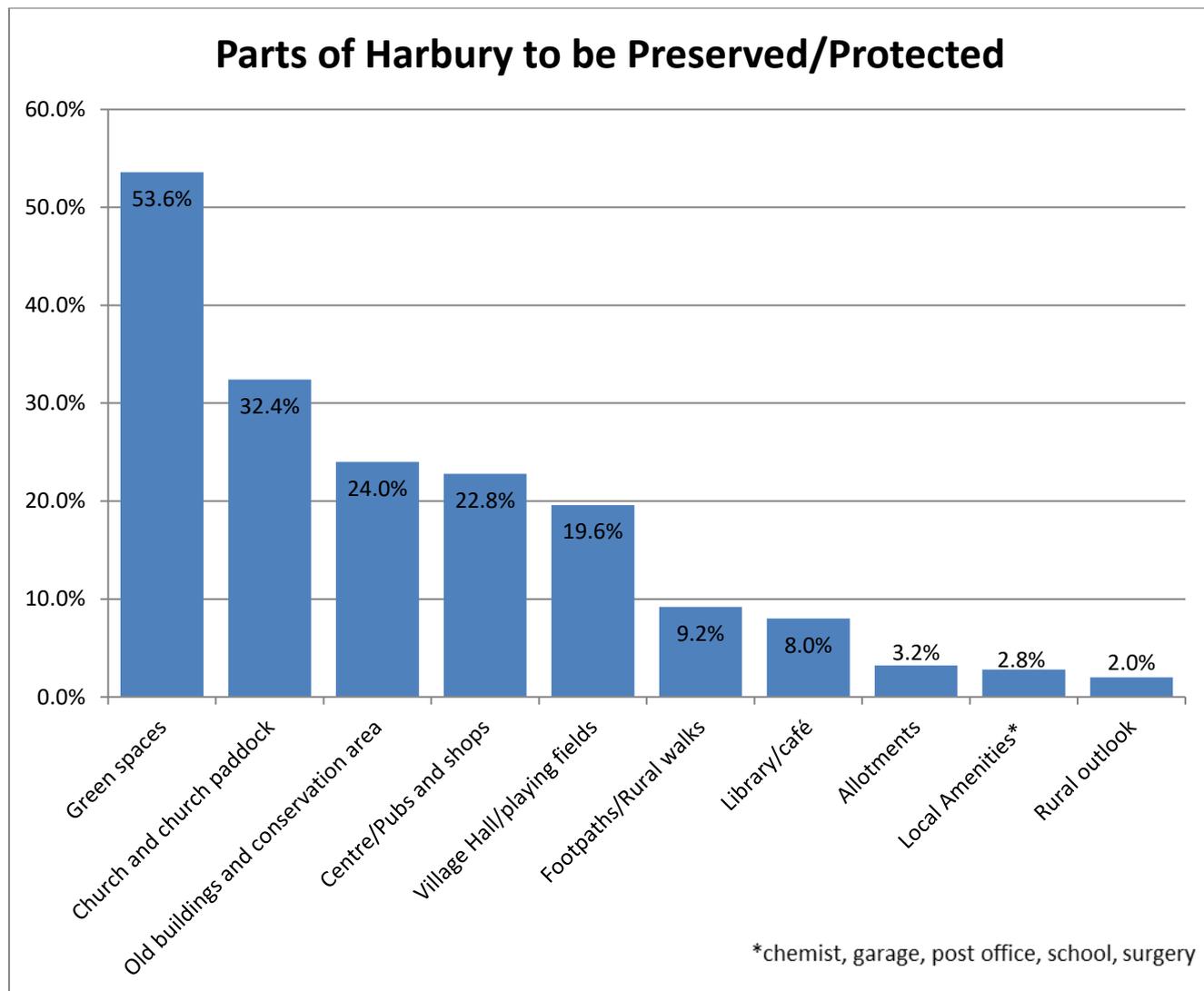
APPENDIX 2 – October 2013, Questionnaire Summary Results

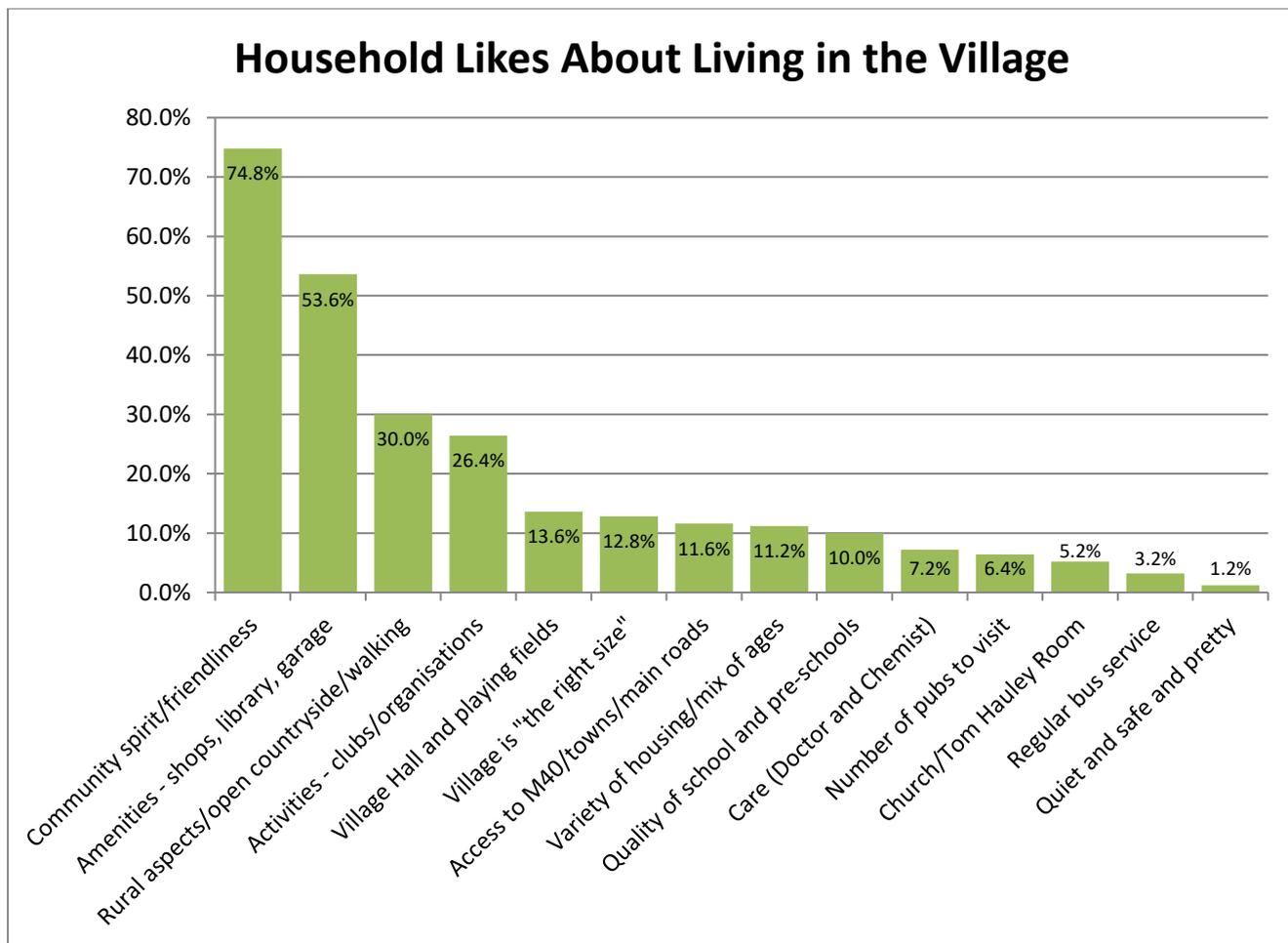
Harbury Neighbourhood Development Plan 2015

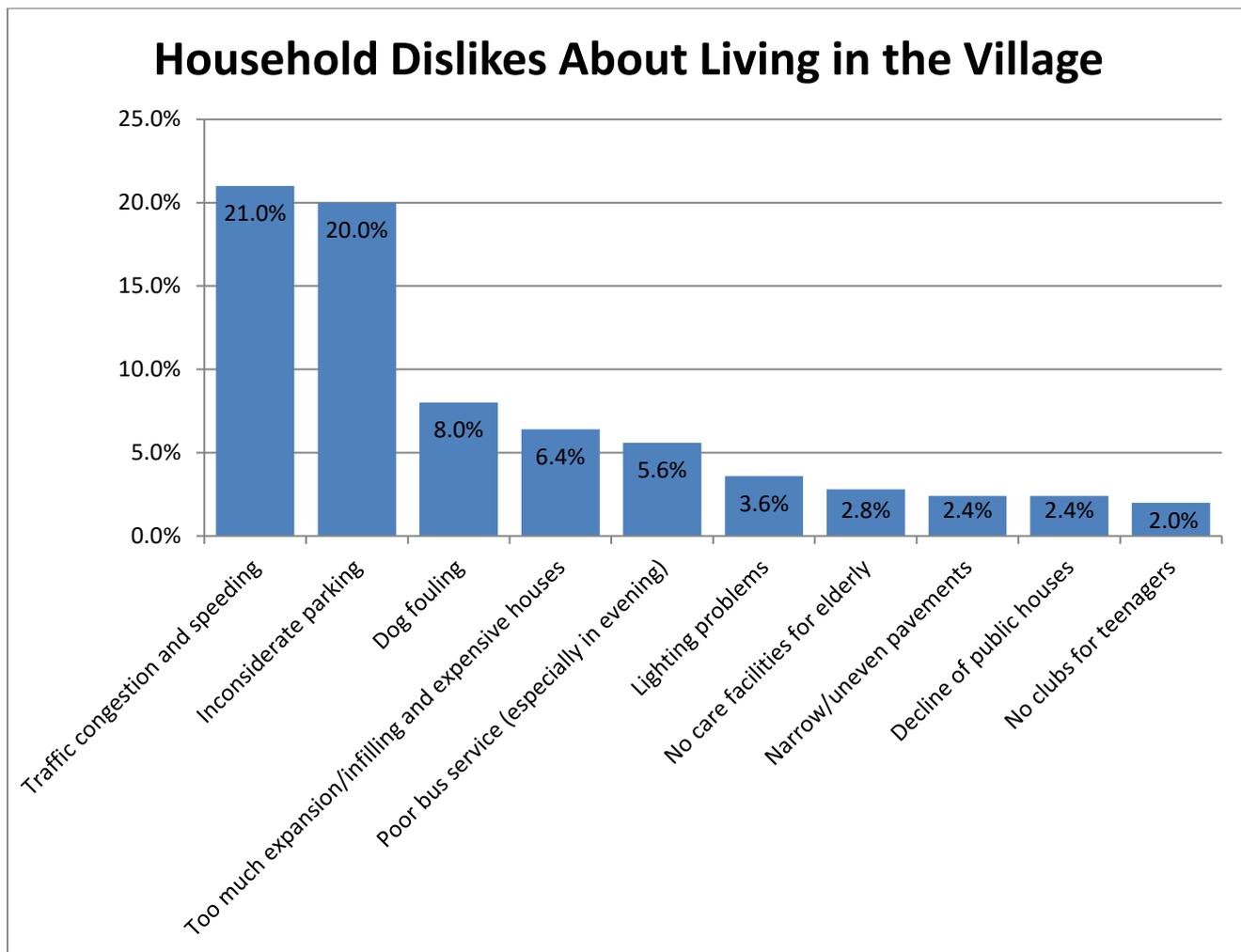












APPENDIX 3 – First Regulation 14 Consultation, Policy Summary (extract)

Government policy states that in the 21st Century many more houses are needed so development will inevitably take place. Our Neighbourhood Plan is the opportunity for us to guide and shape development in the parish and make sure that it is appropriate to our needs and aspirations.

The 19 Policies and Proposals in

Harbury's

Neighbourhood

Development Plan

“Our vision is of a socially cohesive and mutually supporting rural parish. A low carbon parish with adequate infrastructure, that respects the value of the surrounding farmland and natural landscape and offers essential services, recreation, employment and housing opportunities for people of all ages and income levels.”

Policies and Proposals

H.01 New Housing Development in Harbury Village

New housing development will be concentrated within the Harbury village settlement boundary. (See [map](#))

Within this boundary proposals for new housing will be supported when:

- a) They have no adverse impact on the parish's rural landscape.
- b) They conserve and enhance designated and non-designated heritage assets.
- c) They have no adverse impact on existing and future residential amenity.
- d) They have no adverse impact on the natural environment and protect biodiversity and habitats.
- e) They do not lead to the inappropriate development of residential gardens that would cause harm to the vi by reason of over development, significant loss of useable garden spaces for both existing and proposed new properties, and loss of off-street parking.
- f) They are appropriately located for the users and residents of the proposed use to access local facilities and vices.
- g) All development must be appropriate in terms of size, scale, design and respect the character of the surrounding area.

H.02 New Housing Development in Deppers Bridge and the Open Count side.

Proposals for new development in Deppers Bridge and the open countryside, that is those areas within the neighbourhood plan area but outside the Harbury village settlement boundary (see [map](#)), will only be supported in following circumstances:

- a) Replacement dwellings.
- b) Re-use of redundant or disused buildings, not in need of substantial repair or rebuilding.
- c) Development that would bring back into use and secure a suitable and sympathetic re-use of a heritage as

H.03 Securing a Suitable Mix of House Types, Tenures and Sizes in New velopment.

To ensure that future housing development meets the needs of the existing and future population, in housing developments of 6 or more dwellings a range of types, tenures and sizes of dwellings will be required, includ proportion of homes to meet the needs of older and younger residents as well as those seeking to build their home. The final housing mix on such sites should be agreed with the Parish Council and be in response to up

APPENDIX 4 – First Regulation 14 Consultation, List of Consultees

All Saints Church

(all Church Groups)

Art Group

Badminton (Ladies)

Ballroom Dancing

Banana Moon Nursery

Carnival Committee

Duke of Edinburgh Award

Folk Club

GASS – All Scouting Sections

Guides

Harbury Albion (Senior Football)

Harbury Junior Football

Harbury Energy Initiative

Harbury Library & Biblio's Café

Harbury "News"

Harbury Pre-school

Harbury Primary School

Harbury Primary School Kids Club

Harbury Senior Citizens

Harbury Society

Harbury Theatre Group

Harbury Toddler Group

Harbury Twinning Association

Harbury Ukulele Group

Harbury Village Cinema

Harbury Village Club

Hereburgh Morris Dancers

Heritage Group

Horticultural Society

Cricket Club

Inspire Dance

Mothers' Union

Neighbourhood Watch

Netball Club

NSPCC

Parish Council

Rugby Club (Juniors)

Rugby Club (Seniors)

Table Tennis

Tai Chi

Tennis Club

Upholstery & Soft Furnishing

Warwickshire Young Voices

Village Hall Committee

Wednesday Walkers

Women's Institute

Warwickshire/Worcs Goat Society

Yoga

Zumba

Akins Ltd

Ancient Monuments Society

arqiva

Birmingham International Airport

BT Group PLC

CABE

CABE

Canal and River Trust

Capital and Property Projects

Coal Authority

Council for British Archaeology

Council for British Archaeology

Cotswold Conservation Board

Cov & Leics Diocesan Advisory Ctte

Civil Aviation Authority

Coventry Airport

CTC - National Cycling Charity

CTC - National Cycling Charity

English Heritage

English Heritage

English Heritage Parks and Gardens

Environment Agency

Environment Agency

Everything Everywhere

Force Crime Prevention Design Advisor

Forestry Commission

Garden History Society

Georgian Group

Glide Sport UK

Homes and Communities Agency

Highways Agency (east mids)

Highways Agency (west mids)

Inland Waterways Association

Inland Waterways Association

Joint Radio company

Kernon Countryside Consultants

London Oxford Airport

MBNL(Acting for Everything Everywhere)

MBNL(Acting for Everything Everywhere)

Ministry of Defence

Accessible Stratford

Mobile Phone Operators

Mr Butler (CPRE)

CPRE

National Air Traffic Services

National Grid Gas Distribution

National Grid UK Transmission

National Planning Casework Service

National Trust

National Trust

Natural England

Natural England

Network Rail

Ofcom

Off Route Airspace

Off Route Airspace

SDC Conservation

WCC Principle Highway Control Officer

Ramblers Association

Ramblers Association

SDC Planning and Environment

Royal Agricultural Society of England

RSPB

Severn Trent Water

Sport England West Midlands

Sport England West Midlands

Stratford-on-Avon District Council

Stratford-on-Avon Gliding Club

Stratford-on-Avon Gliding Club

Sustrans

Thames Water Utilities

The Design Council

Theatres Trust

Upper Avon Navigation Trust Ltd

Victorian Society

Warwickshire Badger Group

Warwickshire Bat Group

Warwickshire Police

Warwickshire Police

Warwickshire Police Road Safety

Warks Primary Care Trust

Warks Primary Care Trust

NHS Property Services Ltd

NHS Property Services Ltd

Warwickshire Rural Housing Association

Warwickshire Wildlife Trust

Warks Wildlife Trust

WCC - planning

WCC Archaeology

WCC Capital & Property Projects Officer

WCC Extra Care Housing

WCC Flood Risk

WCC Ecology

WCC Forestry

WCC Fire & Rescue Service

WCC Gypsy & Traveller Officer

WCC Health & Communities

WCC Highways

WCC Land Registry

WCC Libraries

WCC Rights of Way

WCC Stratford Cycle Forum

Wellesbourne Airfield

Wellesbourne Airfield

Western Power Distribution

Woodland Trust

Warwickshire Rural Community Council

Warwickshire Amphibian and Reptile Team

Stansgate Planning

Coventry and Warwickshire Partnership NHS Trust

South Warwickshire Critical Commissioning Group

Community Forum - Stratford area

Stratford Business Forum

APPENDIX 5 – First Regulation 14 Consultation, Response Form

Harbury and Deppers Bridge Neighbourhood Plan

Pre-Submission Regulation 14 Consultation

1st August to 23rd September 2016

ALL RESPONSES MUST BE RECEIVED BY 5pm on the 23rd September 2016

Representation Form

PLEASE COMPLETE AND RETURN ONE FORM FOR EVERY COMMENT MADE

Name	
Organisation	
Address	
Email	
Tel. No.	

Please state to which part of the Draft Neighbourhood Plan your representation refers. (Please indicate with X)

Page Number	
Policy Number	

Are you supporting, objecting, or making a comment? (Please indicate with X)

Support	
Object	
Making a Comment	

Please Turn Over

Please use the box below for any comments.

Thank you for your time and interest. Please return this form to THE PARISH COUNCIL, UNIT 2 BULL RING BUSINESS CENTRE, CHURCH TERRACE, HARBURY, LEAMINGTON SPA, CV33 9HL

Email: clerk@harbury-pc.gov.uk by no later than 5pm, 23rd September 2016].

The Harbury and Deppers Bridge Neighbourhood Plan has been prepared by the Neighbourhood Plan Steering Group on behalf of Harbury Parish Council.

APPENDIX 6 – Notice of EGM, December 2016



2, Bull Ring Business Centre
Church Terrace
Harbury
Leamington Spa
Warwickshire
CV33 9HL

HARBURY PARISH COUNCIL

Tel: 01926 614646
E-mail clerk@harbury-pc.gov.uk

Notice of Extraordinary Meeting of Harbury Parish Council

Thursday, 1 December 2016 at 7.30pm

The Farley Room, Harbury Village Hall, CV33 9JE

Members of the public and the press are invited to attend the parish council meeting and are welcome to address the council on any matters relating to the agenda during the public forum.

Please note that the meeting may be recorded or filmed and that the council is unable to give any guarantee that members of the public will not be included. If this concerns you, please contact the clerk prior to the meeting. If you would like to record or film a meeting, we encourage you to contact the council in advance so that we can ensure the necessary arrangements are in place.

A handwritten signature in black ink that reads 'Alison Biddle'.

Alison Biddle MILCM
Clerk to the Council
24 November 2016

AGENDA 1 December 2016

1. Apologies

2. Declarations of Interest

Members should declare any interest in items on the agenda here. Members are reminded that, unless they have been granted a dispensation, if they have a disclosable pecuniary interest in any matter as defined by regulations made by the Secretary of State they may not participate in any discussion of or vote on the matter.

3. Dispensations

To receive and consider granting dispensation requests.

4. Public Participation

Members of the public may raise any matter relating to items on the agenda here.

5. Planning Application 16/03140/FUL

Proposed two storey cottage

<https://apps.stratford.gov.uk/eplanning/AppDetail.aspx?appkey=ODWV8APMN0T00>

Allington House, 1 Farm Close

To consider response

6. Harbury Neighbourhood Development Plan – Regulation 14 Pre-submission Public Consultation

- 1 To review Table 1 - representations received from SDC & agree any amendments to draft plan.
- 2 To review Table 2 - representations received from statutory consultees, other bodies and members of the public & agree any amendments to draft plan.
- 3 To agree next steps.

7. Next Ordinary Meeting – Thursday, 26 January 2017 at 7.30pm, Harbury Village Hall

Kirkwells

The Planning People

For more information on the contents of this document contact:

Michael Wellock
Managing Director
Kirkwells
Lancashire Digital Technology Centre
Bancroft Road
Burnley
Lancashire
BB10 2TP

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